



**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

406 Justice Drive, Lebanon, Ohio 45036

www.co.warren.oh.us

commissioners@co.warren.oh.us

Telephone (513) 695-1250

Facsimile (513) 695-2054

TOM GROSSMANN

SHANNON JONES

DAVID G. YOUNG

GENERAL SESSION AGENDA

September 28, 2023

- #1** **Clerk — General**
- #2** **5:00** **PUBLIC HEARING – Rezoning Application of Redwood USA to
Rezone 63.812 Acres from “MXU-C” with Interstate Highway Overlay
To “MXU-C” with a Planned Unit Development Overlay**

The Board of Commissioners’ public meetings can now be streamed live at [Warren County Board of Commissioners - YouTube](#)

APPROVE REQUISITIONS AND AUTHORIZE COUNTY ADMINISTRATOR TO SIGN DOCUMENTS RELATIVE THERETO

BE IT RESOLVED, to approve requisitions as listed in the attached document and authorize Tiffany Zindel, County Administrator, to sign on behalf of this Board of County Commissioners.

M. moved for adoption of the foregoing resolution being seconded by M. Upon call of the roll, the following vote resulted:

M
M
M

Resolution adopted this day of 2023.

BOARD OF COUNTY COMMISSIONERS

Tina Osborne, Clerk

/tao

cc: Commissioners' file

REQUISITIONS

Department	Vendor Name	Description	Amount
ENG	BANSAL CONSTRUCTION	ENG. INTERSECTION WARNING DEV	\$ 118,789.90
TEL	OHIO STATE UNIVERSITY	TEL OARNET VMWARE SOFTWARE LIC	\$ 22,724.65
TEL	OHIO STATE UNIVERSITY	TEL OARNET VMWARE SOFTWARE LIC	\$ 68,173.95

9/28/2023 APPROVED:

Tiffany Zindel, County Administrator

CONSENT AGENDA*

September 28, 2023

PERSONNEL

- 1. Remove probationary employee from employment within Water and Sewer Department***
- 2. Hire Zachery Zindel as Service Worker I within Facilities Management***

GENERAL

- 3. Approve notice of intent to award bid to Bansal Construction, Inc. for the Wilmington Road and Clarksville Road Intersection Warning Device Project***
- 4. Authorize Telecommunications to accept the transfer of radio equipment from Darke County***
- 5. Enter into various classroom training Agreements on behalf of OhioMeansJobs Warren County***
- 6. Acknowledge amendment to classification of funds received under the State and Local Fiscal Recovery Fund relative to Upgrades to the County Data Processing Network***
- 7. Acknowledge approval of financial transactions***

FINANCIAL

- 8. Approve supplemental appropriation and appropriation adjustments within Health Insurance 6632***
- 9. Approve appropriation adjustment within Board of Elections 11011300***

****Please contact the Commissioners' Office at (513) 695-1250 for additional information or questions on any of the items listed on the Consent Agenda***



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

This form is to be completed by Department Head/Elected Official requesting authorization to attend an Association Meeting or Convention or Training Seminar/Session sponsored by an Association as required by O.R.C. Section 325.20. Additionally, authorization is required for any training seminar/session held more than 250 miles from county campus;

*NAME OF ATTENDEE: Brittney Stephens DEPARTMENT: BCW/Workforce (WIB)

*POSITION: Operations Assistant DATE: Sept. 25, 2023

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:

Training for the State of Ohio CFIS system

LOCATION:

Nationwide Conference Center Lewis Center Ohio

DATE(S): October 2, 2023 - October 3, 2023

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: Hilton Garden Inn Columbus/Polaris

ESTIMATED COST OF TRIP: \$425.00

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Betsy Chung Exec Dir 9-25-23
Signature Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

21-10-42
2023 SEP 26 10:58 AM



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
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*NAME OF ATTENDEE: Becky Ehling DEPARTMENT: BCW/Workforce (WIB)

*POSITION: Executive Director DATE: Sept. 25, 2023

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
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DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Tate Bowman Board chair 9/26/23
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

2023 09 26 10:42



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

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*NAME OF ATTENDEE: BARNES WRIGHT DEPARTMENT: TREASURY

*POSITION: TREASURER DATE: 9/21/2023

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

- ASSOCIATION MEETING
- CONVENTION
- ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
- TRAINING MORE THAN 250 MILES

PURPOSE:

2023 FALL COUNTY TREASURERS' CONFERENCE

LOCATION:

COLUMBUS N.W. MARRIOTT - DEBCIN

DATE(S):

TYPE OF TRAVEL: (Check one)

- AIRLINE
- STAFF CAR
- PRIVATE VEHICLE
- OTHER

LODGING: COLUMBUS NW MARRIOTT

ESTIMATED COST OF TRIP: \$150.00 + \$350.16 = \$500.16

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Barnes Wright, Treasurer
Signature/Title Date 9/26/23

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

RECEIVED 09/26/23

SEPT 27 '23 ROWD

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

DAVID SWIGERT

**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

Resolution

Number 23-1111

Adopted Date August 29, 2023

CONTINUE PUBLIC HEARING FOR REZONING APPLICATION OF GREG THURMAN (REDWOOD USA), AGENT TO REZONE APPROXIMATELY 63.812 ACRES FROM "MXU-C" MIXED USE CENTER WITH INTERSTATE HIGHWAY OVERLAY TO "MXU-C" MIXED USE CENTER WITH PLANNED UNIT DEVELOPMENT OVERLAY IN UNION TOWNSHIP

BE IT RESOLVED, to continue the public hearing for the rezoning application of Greg Thurman (Redwood, USA), agent for McCabe-Columbia #1 LLC and McCabe-Columbia #3 LLC, Owners of record (Case # 2023-05) to rezone approximately 63.812 acres (Parcel ID 12-07-351-001, 12-07-301-002, 12-13-400-003, and 12-13-400-004) located along Columbia Road in Union Township from 'MXU-C' Mixed Use Center with Interstate Highway Overlay to "MXU-C" Mixed Use Center with a Planned Unit Development Overlay; said public hearing to be continued to Thursday, September 28, 2023, at 5:00 p.m.

Mr. Grossmann moved for adoption of the foregoing resolution being seconded by Mr. Young. Upon call of the roll, the following vote resulted:

Mrs. Jones – yea
Mr. Young – yea
Mr. Grossmann – yea

Resolution adopted this 29th day of August 2023.

BOARD OF COUNTY COMMISSIONERS



Tina Osborne, Clerk

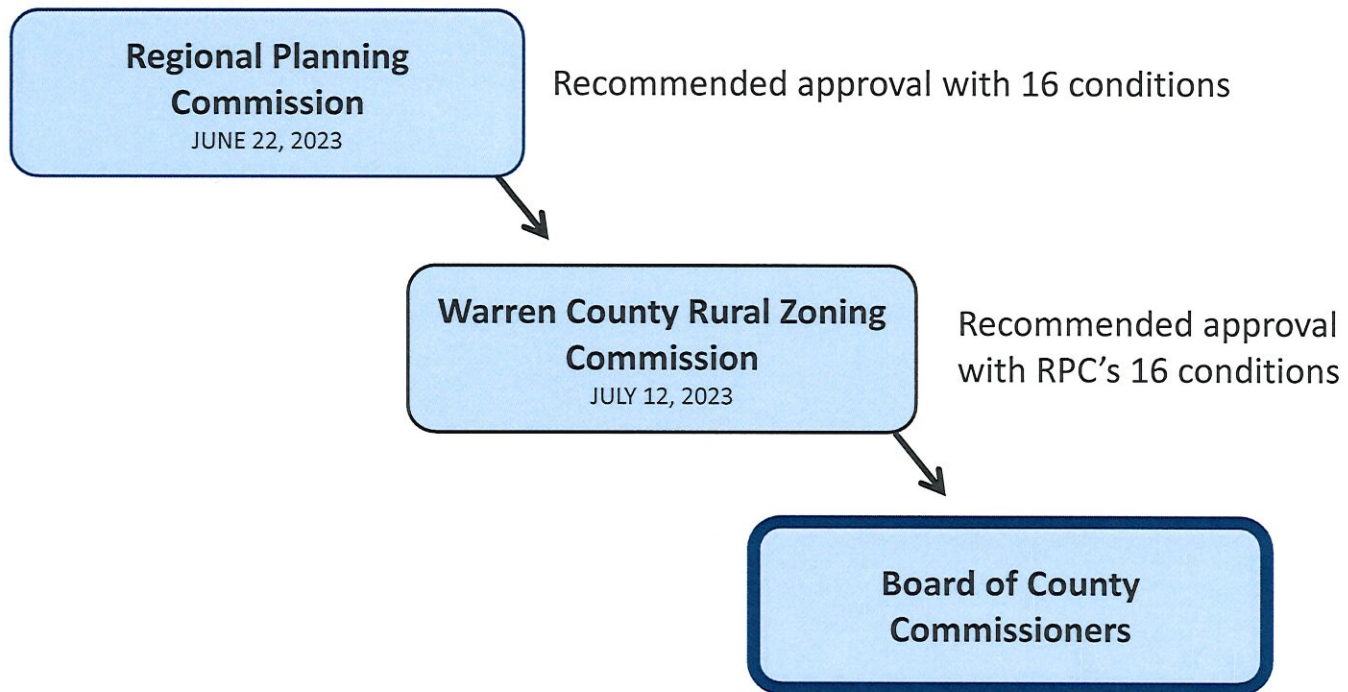
tao/

cc: RPC
RZC
Rezoning file
Property Owner
Agent
Township Trustees

PP EXHIBIT #1 CASE #	2023-05	
APPLICANT/OWNER/AGENT	McCabe-Columbia #1 LLC & McCabe-Columbia #3 LLC	
TOWNSHIP	UNION	
PROPERTY LOCATION	ADDRESS	4915 Columbia Road
	PIN	12-07-351-001, 12-07-301-002, 12-13-400-003, & 12-13-400-004
PROPERTY SIZE	63.812 acres	
CURRENT ZONING DISTRICT	"MXU-C" MIXED USE CENTER w/ IHO (Interstate Highway Overlay)	
FUTURE LAND USE MAP (FLUM) DESIGNATION	1. MULTI-FAMILY RESIDENTIAL 2. OFFICE	
EXISTING LAND USE	Vacant / Single Family Dwellings	
ZONING REQUESTED	MXU-C PUD Overlay	
ISSUE FOR CONSIDERATION	REZONE from "MXU-C" MIXED USE CENTER ZONE to MXU-C PUD Overlay	

Rezoning Process

2023-05



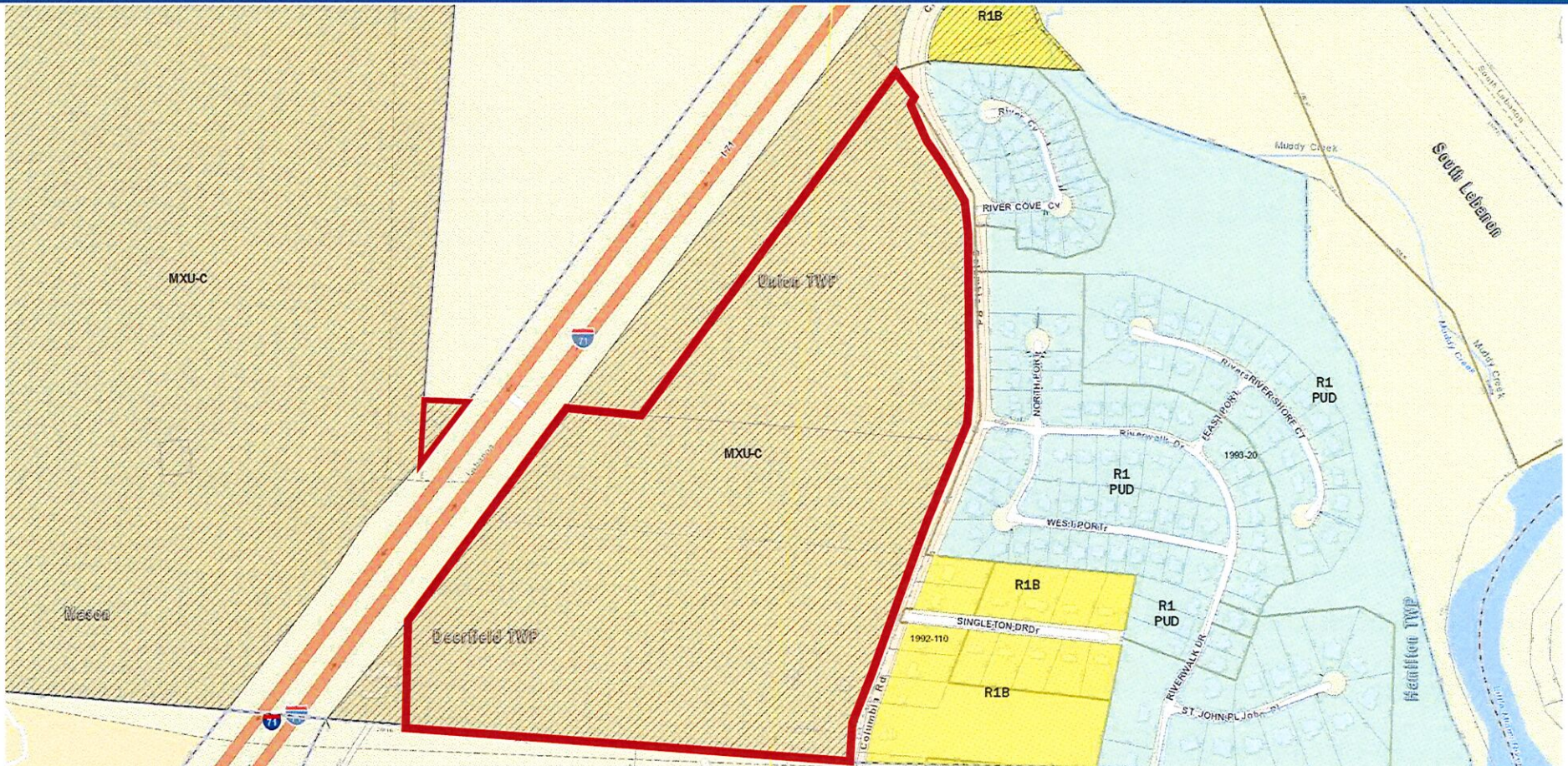
Aerial Map

2023-05



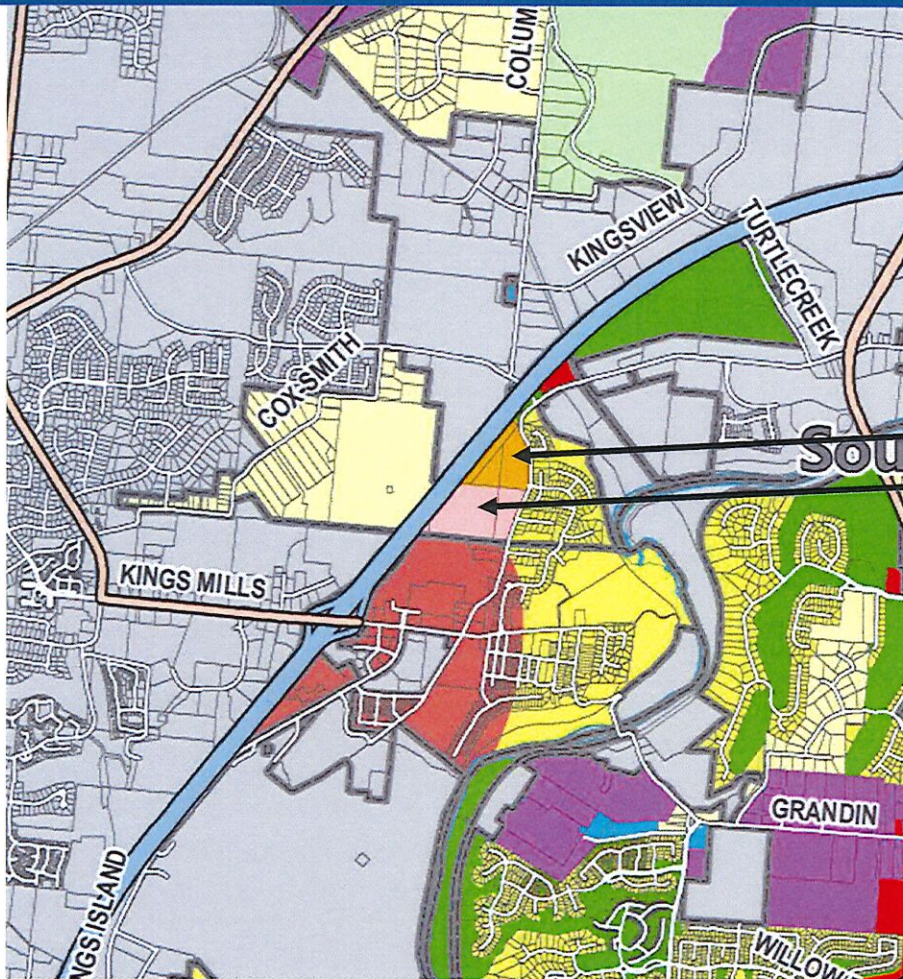
Current Zoning Mixed Use Center IHO

2023-05



Future Land Use

2023-05



Legend

Future Land Uses

- Agricultural-Rural Residential
- Commercial
- Industrial
- Mixed-Use Neighborhood
- Multi-Family Residential
- Office
- Protection Area
- Public-Semi-Public

Future Land Use for Warren County Comprehensive Plan 2012

Future Land Use for Union Township Comprehensive Plan 2015

Existing Conditions

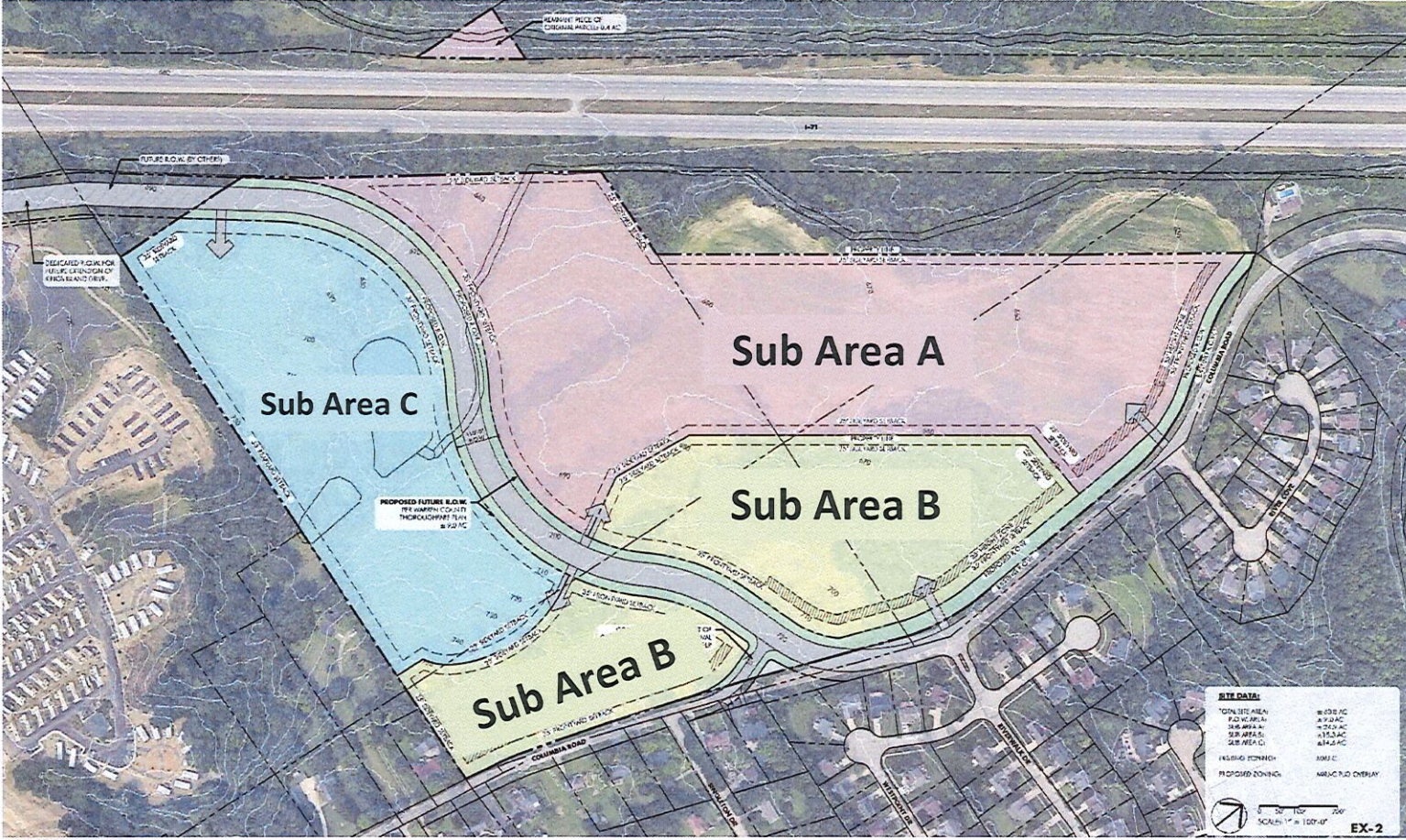
2023-05

EXISTING CONDITIONS



Subarea Plan

2023-05



Proposed Concept Plan

2023-05

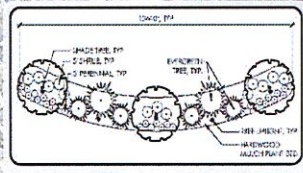


Proposed Concept Plan

Sub Area A

- 24.5 Acres
- 134 Dwellings (Rental Units)
- 5.46 Units Per Acre
- 1 Story Attached Dwellings
- 4-5 Units Per Building
- Attached 2 Car Garages

Sub Areas B & C Future Development



NOTE:
 Landscaping shall be placed along property boundaries meeting Columbia Road ROW
 if no appropriate setbacks to greater than 100' exist and when grading permits. Landscaping
 intended to meet ROW must also be placed in accordance with the following:

NOTE:
 CONCEPT PLAN IS SHOWN FOR REFERENCE
 SUBJECT TO CHANGE IN STAGE 2 APPROVAL

USES: Multi-family Residential, Assisted Living, Independent Living, Institutional Care Facility, Townhomes

DENSITY: 9.41 Units Per Acre

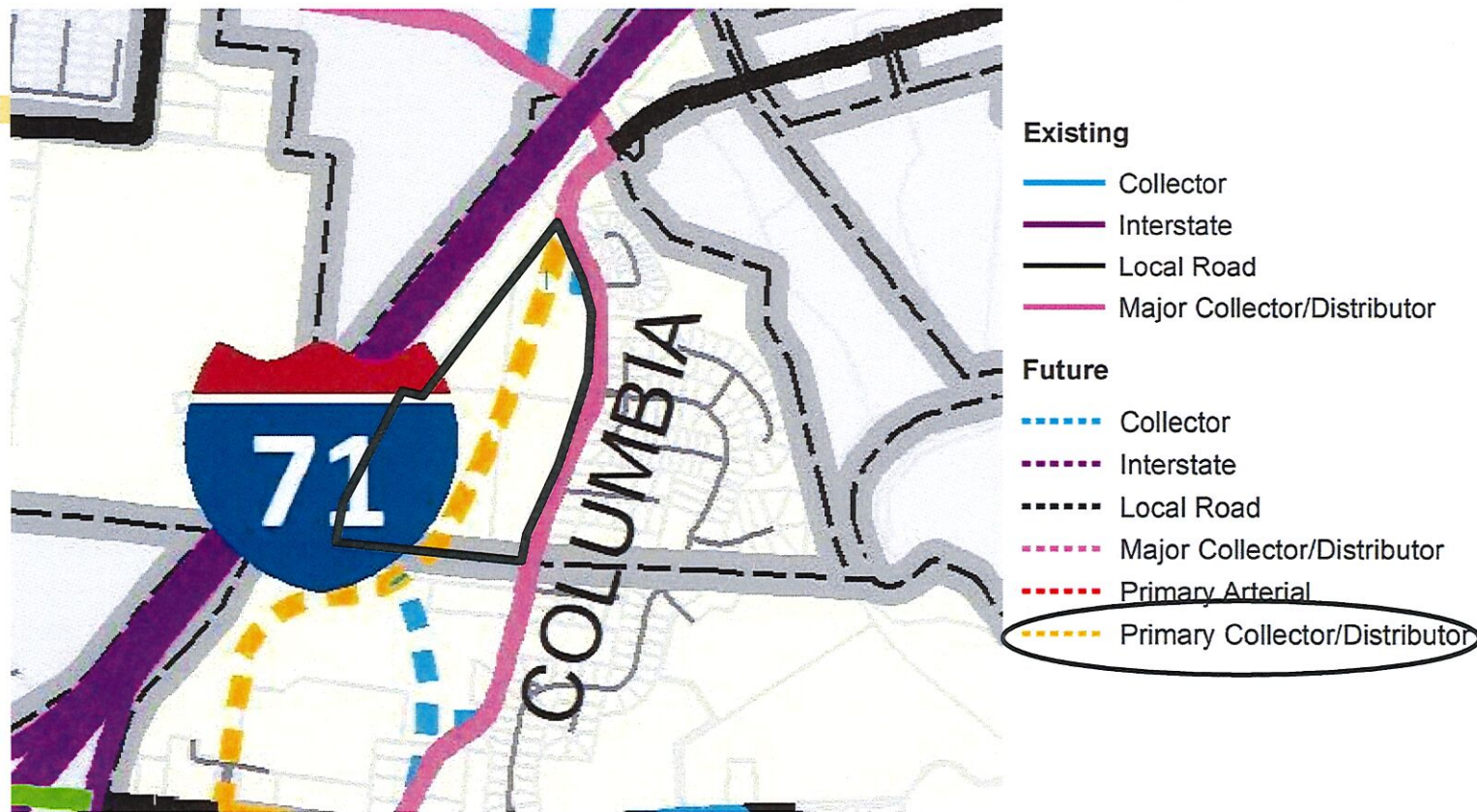
MAXIMUM NUMBER of UNITS: 512

MAXIMUM HEIGHT: 40 feet

Vary the timing of COMMERCIAL USES, from Section: 2.407.5 (B). Sub Area A will be developed first and does not include commercial uses.

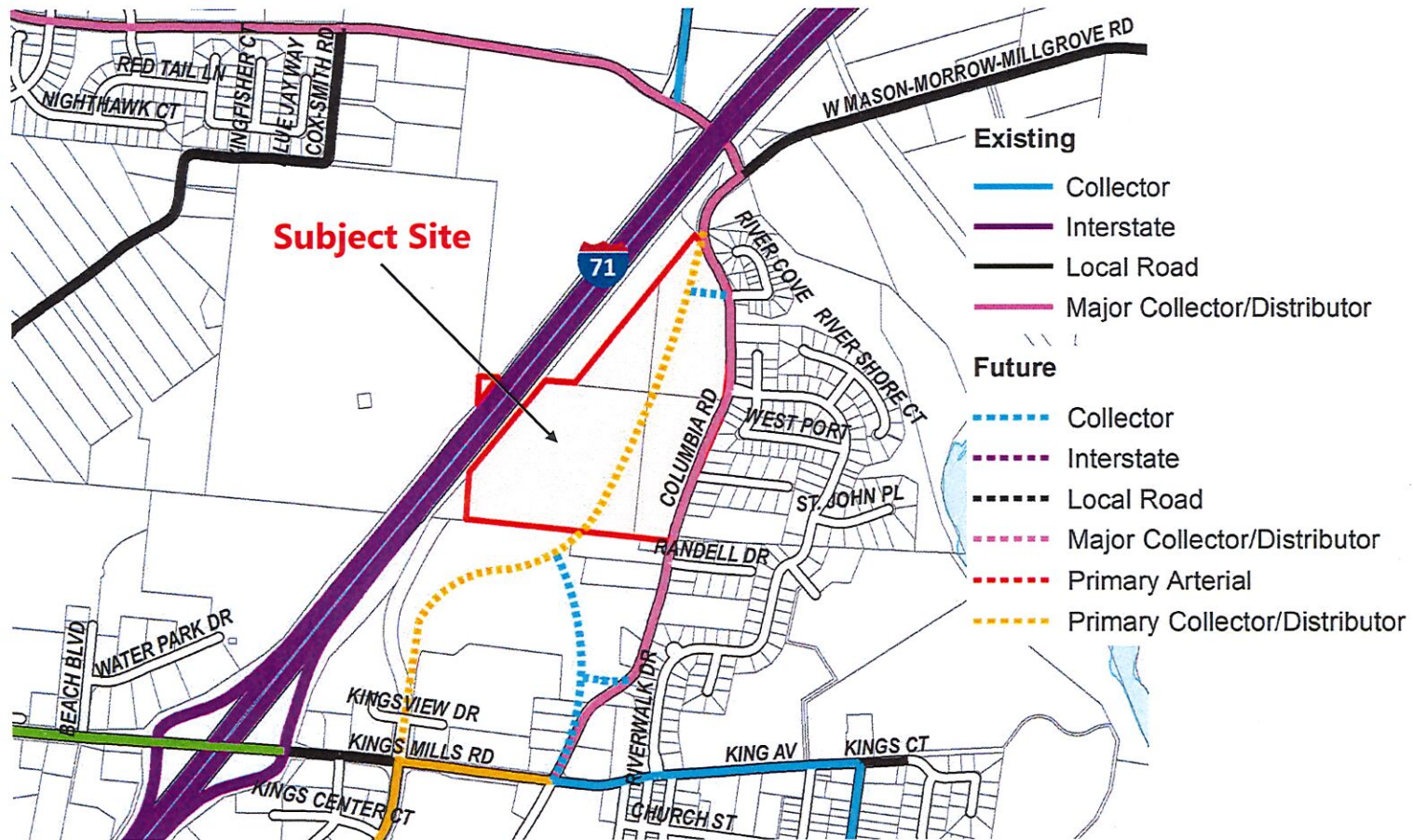
Thoroughfare Plan

2023-05



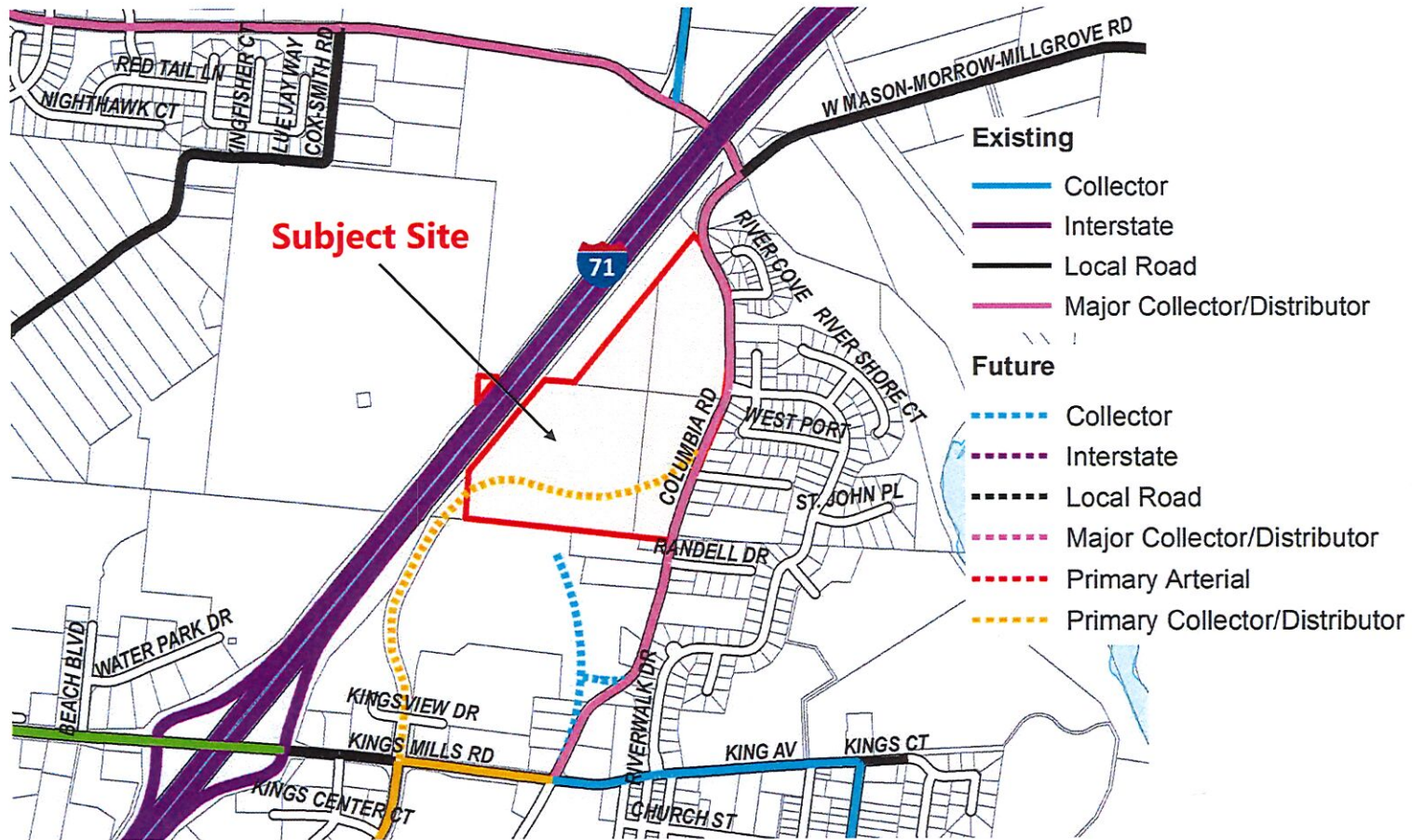
Thoroughfare Plan - Current

2023-05



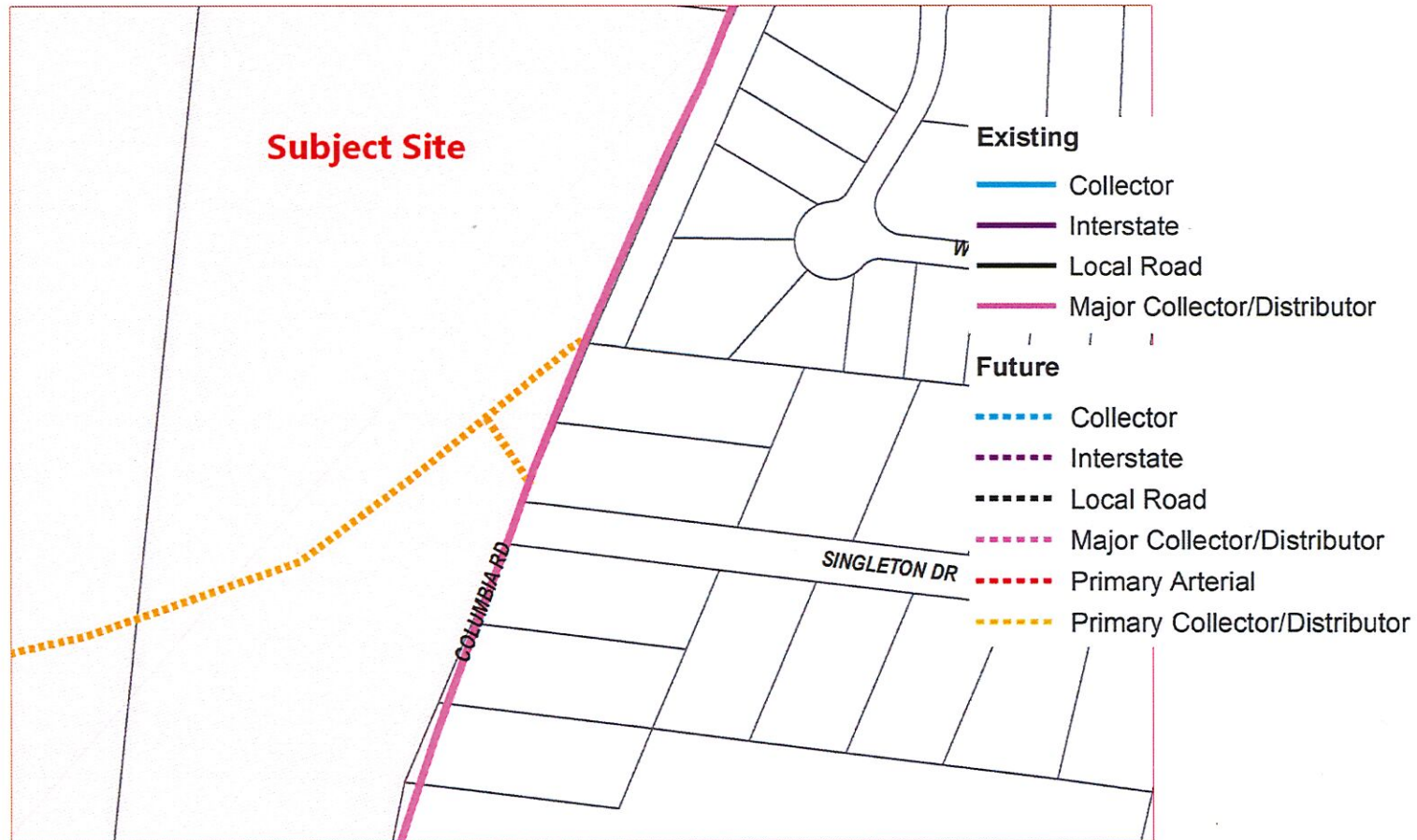
Thoroughfare Plan - Proposed

2023-05



Thoroughfare Plan - Proposed

2023-05



Surrounding Road Network

2023-05



Zoning Comparison

2023-05

	Current Zoning Standard	Proposed PUD Standard
Parking Dimensions	10'x18'	9'x18'
Minimum Dwelling Size – Multi-Family	960 square feet	600 square feet
Maximum Number of Units Per Building	12 units	36 units
Density – Mixed-Use Development	8 units per acre – integrated development.	9.41 units per acre – total site.
Density – Conventional Development	1 unit per acre.	9.41 units per acre – total site.
Commercial Development	Required prior to residential development	After residential development

Warren County Water & Sewer Recommendation

WARREN COUNTY WATER & SEWER DEPARTMENT


CHRIS G. BRAUSCH, P.E.
COUNTY SANITARY ENGINEER

TO: Ryan Cook
FROM: Chris Brausch
DATE: June 15, 2023
Re: Redwood at Columbia Road
Planned Unit Development Stage 1
Union Township

The Warren County Water & Sewer Department has reviewed the PUD Stage 1 plan that includes a maximum of 512 residential dwelling units to be located on 63.81 acres. The development includes a mixture of attached single story and multistory apartments, Adult Group Homes and Institutional Care Facilities (including Assisted Living, memory Care, and Independent Living). The following are our comments with respect to water and sanitary sewer service to the property:

1. Warren County water service is available to the property from a 10-inch ductile iron waterline that extends along Columbia Road from the southern property line to a point 1,100 feet north of Randell Drive. Service is also available at the north side of the property from the 10-inch ductile iron waterline along Columbia Road that extends from River Cove Drive to a fire hydrant 560 feet north of the roadway. The developer shall provide a redundant looped water service by connecting to the waterlines at both locations.
Sufficient pressure and capacity are available to serve the proposed development. The static water pressure near this location ranges between 110 to 140 pounds per square inch. Fire protection flow measurements taken from nearby hydrants resulted in 1,150 gallons per minute.
Due to the high pressures at this location, the development will be required to install pressure reducing valves within the buildings. The development will also be required to install Reduced Pressure Principle Backflow Prevention Assemblies that conform to Warren County Standards.
2. The existing sanitary sewer collection system lacks sufficient capacity to serve the proposed development. Enclosed is a 2017 study conducted by the department that outlines the limitations of the infrastructure. Should the Developer proceed forward with this project they shall be required to update the engineering study and construct all required collection system improvements to the satisfaction of the Water & Sewer Department.

Please contact the Water & Sewer Department with questions or comments.


Chris G. Brausch, P.E.
County Sanitary Engineer


Tiffany Zindel
County Administrator

cc: Zindel, Russell, Wojnicz

P. O. BOX 530 ■ 406 JUSTICE DR. ■ LEBANON, OH 45036
513-695-1377 ■ 513-925-1377 ■ 937-425-1377 ■ FAX 513-695-2995
E-MAIL: waterdept@co.warren.oh.us

The Warren County Water & Sewer Department has reviewed the PUD Stage 1 plan that includes a maximum Of 512 residential dwelling units to be located on 63.81 acres. The development includes a mixture of attached single story and multistory apartments. Adult Group Homes and Institutional Care Facilities (including Assisted Living, memory Care, and Independent Living). The following are our comments with respect to water and sanitary sewer service to the property:

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Sufficient pressure and capacity are available to serve the proposed development. The static water pressure near this location ranges between 110 to 140 pounds per square inch. Fire protection flow taken from nearby hydrants resulted in 1,150 gallons per minute.

Due to the high pressures at this location, the development will be required to install pressure reducing valves within buildings. The development will also be required to install Reduced Pressure Principle Backflow Prevention Assemblies that conform to Warren County Standards.

2. The existing sanitary sewer collection system lacks capacity to serve the proposed development. Enclosed is a 2017 study conducted by the department that outlines the limitations of the infrastructure. Should the Developer proceed forward with this project they shall be required to update the engineering study and construct all required collection system improvements to the satisfaction of the Water & Sewer Department.

The existing sanitary sewer collection system lacks sufficient capacity to serve the proposed development.

Recommend **approval** of the Columbia Road Redwood PUD Stage 1 to the Warren County Rural Zoning Commission, subject to the following conditions:

1. All plans and proposals of the applicant shall be made conditions of approval, unless modified by one of the following conditions.
2. Compliance with the Warren County Rural Zoning Code, Warren County Subdivision Regulations, and the adopted PUD Standards.

3. *A Traffic Impact Study (TIS) is required for the entire PUD, prior to PUD Stage 3 approval.* The developer shall comply with the guidelines of the TIS outlined by the WCEO and shall be conducted with the assumption that the roadway (Kings Island Drive) has not been connected. Any road improvements deemed necessary by the WCEO shall be installed by the developer.
4. An access permit for each sub-area shall be approved prior to PUD Stage 3.

RZC & RPC Recommendations

2023-05

- At the time of zoning permit application approval of the 17th building, a second access road shall be constructed. The second access will be designed for emergency use only until PUD Stage 1 & 2 approval for Sub Areas B or C.



6. The road right-of-way for the Kings Island Drive extension shall be platted and dedicated for road right-of-way with the first Final Plat section. *The right-of-way shall be designed to include area sufficient to accommodate a roundabout at the intersection of Columbia Road and the future Kings Island Drive extension.*
7. Compliance with the requirements of the Union Township Fire Department for site access and circulation.
8. Prior to Preliminary Plan approval, the applicant shall receive the Warren County Engineer's Office review and approval for the site's internal private streets. Review and approval shall include, pavement and lane width, public utility easements, pavement material, and cross-section design. On-street parking is prohibited in Sub-area A.

9. Prior to PUD Stage 3 the applicant receives approval from the Warren County Engineer's Department for stormwater management design and facilities.
10. Compliance with the requirements of the Warren County Soil and Water Conservation District (SWCD).
11. Compliance with the requirements of the Warren County Water & Sewer Department (See Exhibit E). Any improvements deemed necessary by the Warren County Water & Sewer Department shall be installed by the developer.

12. All proposed common open spaces and improvements, and maintenance of such areas are ensured through an appropriate legal instrument to comply with Section: 308 Preliminary Plan Review and Approval (E), 7 and Section 325: Dedication Procedures of the Warren County Subdivision Regulations.

13. Submit an updated Concept Plan prior to the Board of County Commissioner's meeting that identifies:
 - a. Where the rear, side, and street setbacks apply for each sub-area.
 - b. A phasing plan that illustrates the first phase including the associated constructed road network.
 - c. A conceptual illustration of the required open space (Section: 2.5.7.5) for Sub-area A.
 - d. Concepts for a compatible transition between the single-family residential uses along Columbia Road.

RZC & RPC Recommendations

2023-05

14. The revised PUD Standards submitted as Exhibit D are adopted as the PUD Development Standards adding a maximum gross density of 9.41 units per residential acre with a maximum of 512 units.
15. Submit updated PUD Development Standards that clearly state the non-residential uses permitted in each Sub-areas B & C.
16. Any development in Sub Areas B & C shall receive PUD Stage 1 approval.

Recommendation – Kings Local School District

August 23, 2023

Dear Kings Community,

Over the years, our school district has experienced growth in student enrollment. While this growth is a testament to the quality of education we offer and the strong sense of community within our District, it has also presented us with several challenges; the most pressing of which is the overcrowding of our school buildings. The current student population continues to put extreme pressure on the physical capabilities of our school district. The administrative team and teachers are doing the best they can to provide learning spaces based on the needs of the students.

Earlier in the Spring of 2023, the Kings Board of Education hired a company, Cropper GIS Consulting to complete a building capacity study, demographic study, and a building utilization forecast. In May 2023, Cropper representatives toured each one of our facilities, met with building administrators to understand how space is being utilized, collected floor plans of all buildings, and took inventory of available classrooms and spaces for individual instruction to assess our capacities and utilization.

Matthew Cropper, Founder and President of Cropper GIS gave a presentation on the findings of the studies to the Kings Board on May 16 on August 8, 2023. According to his presentations, the following bullet points are some of the highlights:

- **5 of 6 primary buildings are overcrowded now with over a 105% utilization rate.**
- KHS is currently operating at 134% and CIS is at 124% utilization, respectively.
- **KHS is currently over capacity by almost 400 students.**
- There are currently more students in grades 1-6 than in 7-12.
- The smallest enrollment is in two grade levels; the current Juniors and Seniors.

Recommendation – Kings Local School District

The overcrowding issue has led to several concerns:

- Lack of effective classroom space, and inadequate lunchroom, gymnasium, and other core facility space.
- Use of non-traditional space for teachers without a classroom. i.e.- the lobby of KJH, closets, server rooms, and storage rooms.
- Lunch schedules, makeshift classrooms, and parking issues are notable pain points.

“You need to address the needs of the students living here now. Overcrowding exists and it’s not going to get any better.” Mathew Cropper, Cropper GIS.

We encourage you to review the following information:

- Capacity and Building Utilization Fact Sheet and Overcrowding Impact

Recommendation – Kings Local School District

We encourage you to review the following information:

- [Capacity and Building Utilization Fact Sheet and Overcrowding Impact](#)
- [Kings Local - District-Resources - Facilities Information – This link contains all of the Cropper GIS Board presentations and PowerPoint presentations.](#)

The Kings Board of Education and District Administration are committed to providing the best possible education for every student in our district. We recognize the challenges posed by our growth, and we're committed to working collaboratively with the community to explore solutions that will enable us to continue delivering excellence in education.

Over the coming weeks, we will be engaging the community in ways to address the overcrowding throughout the district. I am confident that by all working together, we will create learning environments our students deserve.

Thank you for being an integral part of our vibrant and evolving community. Your support, engagement, and partnership are what make our District truly exceptional.

Sincerely,
Greg Sears
Mr. Greg Sears
Superintendent of Schools
gsears@kingslocal.net

ANY

QUESTIONS

?



Rezoning Criteria

1.304.5 Decision-Making Determination Considerations: The approving authority shall review the proposed Zoning Amendment in the interest of public health and safety, as well as the public convenience, comfort, prosperity, or general welfare, as applicable, by considering the following factors:

- A. Is the proposed amendment consistent with the purposes and intent of this Zoning Code?
- B. Does the proposed amendment deviate from the suggestions of the Warren County Comprehensive Plan?
- C. Is the proposed amendment justified because of changed or changing conditions of the surrounding area since the time the current zoning designation for the property was established, and has assumptions on, capital investments, road locations, population trends, land committed to development, density, use, or other elements changed to justify the amendment?
- D. Is the proposed zoning compatible with the present zoning, nearby uses, and the character of the surrounding area?

1.304.5 Decision-Making Determination Considerations:

- E. Is the site suitable for the uses to which it has been restricted, or does the current zoning deprive the site of all economically viable uses?
- F. How long has the property remained vacant as zoned and is it zoned different from an adjacent properties?
- G. Are there available sites elsewhere in the County that are already zoned for the proposed use?
- H. Are public central sanitary sewer, stormwater facilities, roads and other public facilities available and do they have adequate capacity to serve allowable uses?
- I. Will approval of this amendment result in existing land uses, parcels, or structures becoming non-conforming or somehow result in conflict with any provision, restriction, or requirement of this code?

PUD STAGE 1 REVIEW CRITERIA - 1.305.6 Review Criteria:

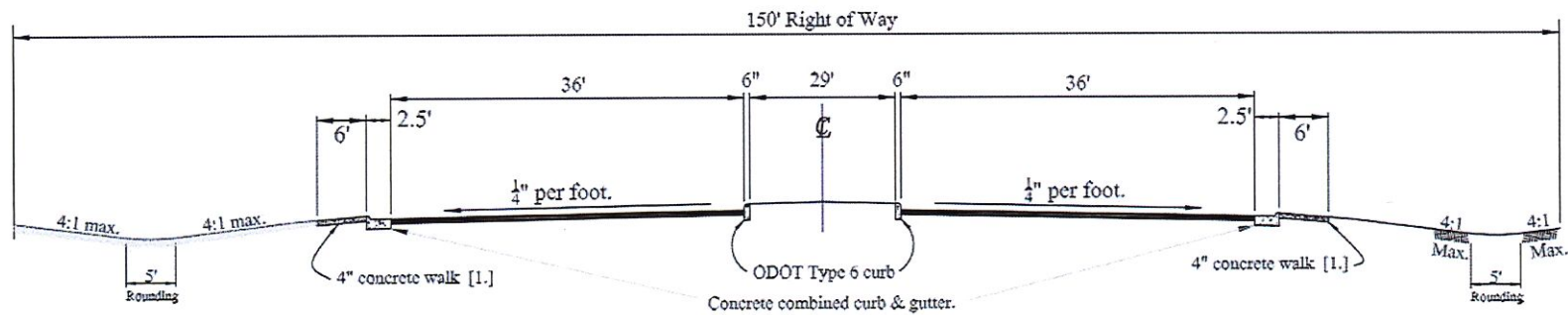
A. **PUD Stage 1:** In determining whether a PUD Stage 1 application or IHO PUD Stage 2 application filed pursuant to this Code shall be approved or recommended for approval, the RZC as applicable, and the BOCC shall consider the following review criteria, if applicable, but no single criteria controls, nor must all criteria support the decision:

- 1) The proposed PUD would not be detrimental to public health, safety, and general welfare and in general results in a better development of uses permitted on the site than would otherwise be possible;
- 2) Whether modifications of the zoning or other regulations are warranted by the innovative design of the PUD Plan;
- 3) Consistency with adopted objectives and policies of the County and townships related to land use; development; comprehensive plans; area plans; and other plans

- 4) Compatibility with and adequate protection of surrounding property and the adequacy of the provisions for visual and acoustical privacy and the proposed use(s) will not develop hazards and/or nuisances, nor have negative impact on the environment and the public health and safety, or general public welfare;
- 5) Provisions proposed for: vehicular access, parking, loading, and circulation; pedestrian access and circulation; essential services in the form of utilities or other facilities; and drainage runoff and soil erosion control are sufficient or proposed for improvement to support the proposed use(s);
- 6) (The need for separation of vehicular, pedestrian, and/or bicycle traffic lanes; clear and safe internal traffic patterns; the provision of connections to adjacent properties; and traffic mitigation measures.
- 7) The necessity for active and passive recreational facilities (greenways, sidewalks, and other pedestrian/bicycle circulation networks).

- 8) Impact to public services and infrastructure, and whether the proposed development is served adequately and efficiently by essential public facilities and services which are in existence or are planned;
- 9) Whether significant scenic or historic features, are adequately conserved;
- 10) Preservation of open space, natural and cultural areas and whether the development includes an appropriate amount of, and appropriate access to, dedicated open space;
- 11) Placement of structures on most suitable sites with consideration of topography, soils, vegetation, slope, etc.
- 12) The effectiveness of landscaping, buffers, and planting along public rights-of-way, open space/recreational areas, and the overall perimeter of the project.

FIGURE A.5
Typical Section, Primary Collector/Distributor



NOTES:

[1.] As per Pathway Map/Subdivision Regulations.

In accordance with a preliminary design by the Ohio Department of Transportation, the Right-of-Way width required on State Route 63 from Union Road to State Route 741 is on file at the Warren County Map Room, Survey Volume 148, Plat No. 58. The State/Federal design process will determine the typical section.



Columbia Road is identified as a primary collector/ distributor.

PUD Standards:

**UNION TOWNSHIP COLUMBIA ROAD OVERLAY PLANNED UNIT DEVELOPMENT
DEVELOPMENT TEXT
UNION TOWNSHIP, WARREN COUNTY, OHIO
JULY 12, 2023**

Applicant:

Redwood USA LLC
Gregory Thurman, VP of Acquisitions
7007 East Pleasant Valley Road
Independence, OH 44131
513-458-9810

Outside Consultants:

POD Design
Land Planning/Landscape Architecture
Todd Foley, Principal
100 Northwoods Blvd, Suite A
Columbus OH, 43235
614-360-3055

CESO
Civil Engineering
Mark Belmont, Director of Civil Engineering
175 Montrose West Ave, Suite 400
Akron, OH 44321
330-396-5678

Goodhue Consulting, Inc.
Traffic Consultant
Paul Goodhue, P.E., PTOE
937-271-7778

PUD Standards:

**UNION TOWNSHIP COLUMBIA RD OVERLAY PLANNED UNIT DEVELOPMENT
DEVELOPMENT TEXT**

1. APPLICABILITY:

Unless otherwise stated, development within Union Township Columbia Road Overlay PUD shall be governed entirely by these provisions (Development Text) and the provisions of the Warren County Rural Zoning Code, Warren County, Ohio, which are in effect at the time of issuance of any development order. All standards and concepts imposed herein or as represented on the PUD Stage 1 Concept Plan are a part of the regulations which will govern how the PUD may be developed. Any standards found in the Warren County Rural Zoning Code that are not modified, varied or addressed by this PUD document shall continue to apply to the PUD Site. These standards apply to the 63.812 acre site (Development Property).

2. STREETS:

The developers will work with the Warren County Engineer's Office and Union Township representatives to incorporate the design, timing, and construction of the primary collector/distributor public road, illustrated on EX-3 and identified on the Warren County Thoroughfare Plan. The design, phasing, and construction of the proposed improvements shall be reviewed and receive approval by the Warren County Engineer's Office. All streets within subareas A, B, and C will be private streets.

3. GENERAL DEVELOPMENT STANDARDS & REGULATIONS FOR ALL SUB-AREAS

- a. **Purpose and Intent:** To create a mixed-use development with common streetscape, signage, lighting, and pedestrian amenities that are compatible throughout the Development. The Development Property is intended to be developed by multiple end users across the three subareas shown on EX-2, Subarea Plan. Residential uses may occur prior to the commercial uses. Subareas may be developed in phases.
- b. **Definitions.** Unless specified, the definition of all terms shall be the same as defined in the Warren County Rural Zoning Code in effect at the time of zoning permit application.

- i. **Dwelling Unit**

- A residential use building or portion therein containing one (1) or more rooms used, designed, or intended for occupancy as a single household unit, in providing complete permanent facilities per all applicable Code requirements for living, sleeping, cooking, eating, bathing, washing, and sanitation. Sleeping rooms are regulated as Dwelling Units and included in the density of the PUD.

PUD Standards:

c. Permitted Uses. The following uses shall be permitted:

Subarea A:

- Attached single-story apartment dwellings;
- Model homes and sales offices;
- Home occupation uses, Class 1;
- Accessory structures associated with a residential use; and
- Publicly or privately owned parks and open spaces.

Subarea B:

- Apartment buildings;
- Townhouses;
- Clubhouse/community building and accessory buildings;
- Model homes and sales offices;
- Home occupation uses, Class 1;
- Accessory structures associated with a residential use;
- Publicly or privately owned parks and open spaces; and
- Other uses not identified may be permitted through a revised PUD Stage 1 process.

Subarea C:

- Adult Group Homes and Institutional Care Facilities (including Assisted Living, Memory Care, and Independent Living);
- Apartment buildings (Single story and multi-story);
- Townhouses;
- Clubhouse/community building and accessory buildings associated with the residential use;
- Model homes and sales offices;
- Home occupation uses, Class 1;
- Publicly or privately owned parks and open spaces; and
- Other uses not identified may be permitted through a revised PUD Stage 1 process.

PUD Standards:

d. Prohibited Uses:

The following uses shall be prohibited in all subareas. All uses identified in Section 2.407.4 of Mixed Use Center Zone Regulations and all other uses not identified in Section 3c are prohibited.

e. Density: There shall be a maximum of 512 residential dwellings with a gross maximum density of 9.41 dwelling units per residential acreage. The Adult Group Homes, Institutional Care Facilities, Independent Living, Assisted Living, etc. count toward the maximum gross residential density calculation.

- I. Attached single-story apartment dwellings shall be in configurations of 2 dwellings to 8 dwellings per building.
- II. Sub Area A density shall not exceed 134 dwelling units.
- III. Multiple-family apartment buildings (single-story and multi-story) shall be in configurations of 2 dwellings to 36 dwellings per building.
- IV. Sub Areas B & C shall not exceed 10 units per acre (gross density).

f. Setbacks: All setbacks shown on EX-2 Subarea Plan.

- I. **Public Road Setback** – There shall be a minimum pavement and building setback of 35 feet as measured from the road right-of-way.
- II. **Rear Yard Setback** – Sub Areas A and C shall have a minimum pavement and building setback of 35 feet. At grade, patios shall be permitted to encroach up to 8 feet and eaves shall be permitted to encroach up to 2 feet into the minimum rear yard setback.
- III. **Side Yard Setback** – 25 feet. At grade, patios shall be permitted to encroach up to 8 feet and eaves shall be permitted to encroach up to 2 feet into the minimum side yard setback.

g. Access & Parking

- I. **Access** – Primary vehicular access shall be provided from Columbia Road and the future Primary collector/distributor public road in the general location shown on Exhibit C, EX-3 Concept Plan. Access points illustrated on Exhibit C, EX-3 Concept Plan are subject to be reviewed by the Warren County Engineer's Office.
- II. **Parking** - Shall be in conformance with section 3.307 Schedule of required parking by use in Warren County Rural Zoning Code unless otherwise noted.
- III. **Parking dimensions** – Parking stall dimensions shall be a minimum of 9 feet wide by 18 feet length.

PUD Standards:

- h. Landscaping & Screening.** All landscaping and screening shall be installed by the developer of each subarea and shall meet the requirements of the current Warren County Rural Zoning Code. Landscaped buffers shall be placed along frontages adjacent to Columbia Road right-of-way and beyond the Public Utility Easement. Details of the landscaping plan shall be reviewed at PUD Stage 2.
- i. Lighting.** All lighting shall be installed by the developer of each subarea and shall meet the requirements of the current Warren County Rural Zoning Code.
- j. Signage.** All signage shall be installed by the developer of each subarea and shall meet the requirements of current Warren County Rural Zoning Code.
- k. Building Standards.**

 - I. Maximum Residential Building Height:** 3 stories not to exceed 40 feet and measured in accordance with the Warren County Rural Zoning Code.
 - II. Transitional Zone:** Portions of Subarea A & B that are directly adjacent to Columbia Road ROW shall have a maximum of two (2) stories, not to exceed 35 feet in height. This transitional zone is applicable for the first 25 feet beyond the front yard setback.
 - III. Minimum Dwelling Square Footage:** Subarea B & C – One bedroom dwellings: 600 square feet. Multiple bedroom dwellings shall meet the requirements of the Warren County Rural Zoning Code.
- l. Open Space:**

Each phase of the development shall provide 20% open space in compliance with Section 2.507.5 Open Space Standards for Overlay PUDs. Open Space design for Sub Areas B & C will be determined at a revised PUD Stage 1 process.

Definitions from the WCRZC:

Sleeping Room: A room within a residential dwelling that functions as a separate space used for living and sleeping, but not for cooking and eating purposes.

Dwelling Unit: A residential use building or portion therein containing one (1) or more rooms used, designed, or intended for occupancy as a single household unit, in **providing complete permanent facilities** per all applicable Code requirements for living, sleeping, **cooking**, eating, bathing, washing, and sanitation.

Definition from Redwood PUD Standards

Dwelling Unit: A residential use building or portion therein containing one (1) or more rooms used, designed, or intended for occupancy as a single household unit, in providing complete permanent facilities per all applicable Code requirements for living, sleeping, cooking, eating, bathing, washing, and sanitation. **Sleeping rooms are regulated as Dwelling Units** and included in the density of the PUD.

PUD Standards for Redwood Housing Density:

- I. Attached single-story apartment dwellings shall be in configurations of 2 dwellings to 8 dwellings per building.
- II. Sub Area A density shall not exceed 134 dwelling units.
- III. Multiple-family apartment buildings (single-story and multi-story) shall be in configurations of 2 dwellings to 36 dwellings per building.
- IV. Sub Areas B & C shall not exceed 10 units per acre (gross density).

Notable Resident Concerns:

- Stormwater runoff
- Setback
- Buffer to existing residential uses
- Building height
- Added traffic on Columbia
- Cannot leave driveway and/or subdivision quickly
- Overcrowding in schools
- Pedestrian safety
- Environmental concerns

Concerns stated on the July 12th RZC Meeting.

King's Island Drive Extension Sewer Study

Introduction

This document looks at the improvements that would be needed in order to provide sewer service to the King's Island Drive extension area. Specifically, this document looks at available options for sewer service for the McCabe-Columbia and Terre Firma properties. The options are outlined in the following sections:

Study Area

The study area is located between interstate 71 and Columbia Rd, north of Kings Mills Rd, shown in FIGURE 1. This area includes approximately 125 acres of land including the McCabe-Columbia and Terre Firma properties (referred to as the McCabe/Terre property for the purposes of this report). It should be noted that there are several vacant properties near the McCabe/Terre property that may be serviced in the future. The sewer capacities determined through this study are on a first come, first served basis and may not be available based on area development.

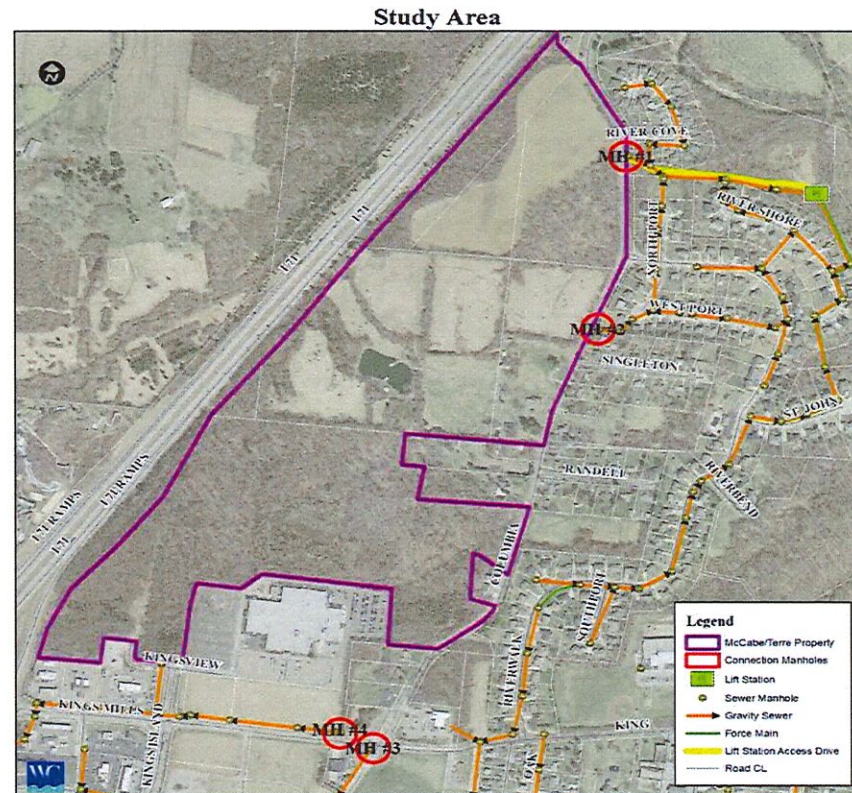


FIGURE A1
Gravity Sewer Sections (before Lift Station)

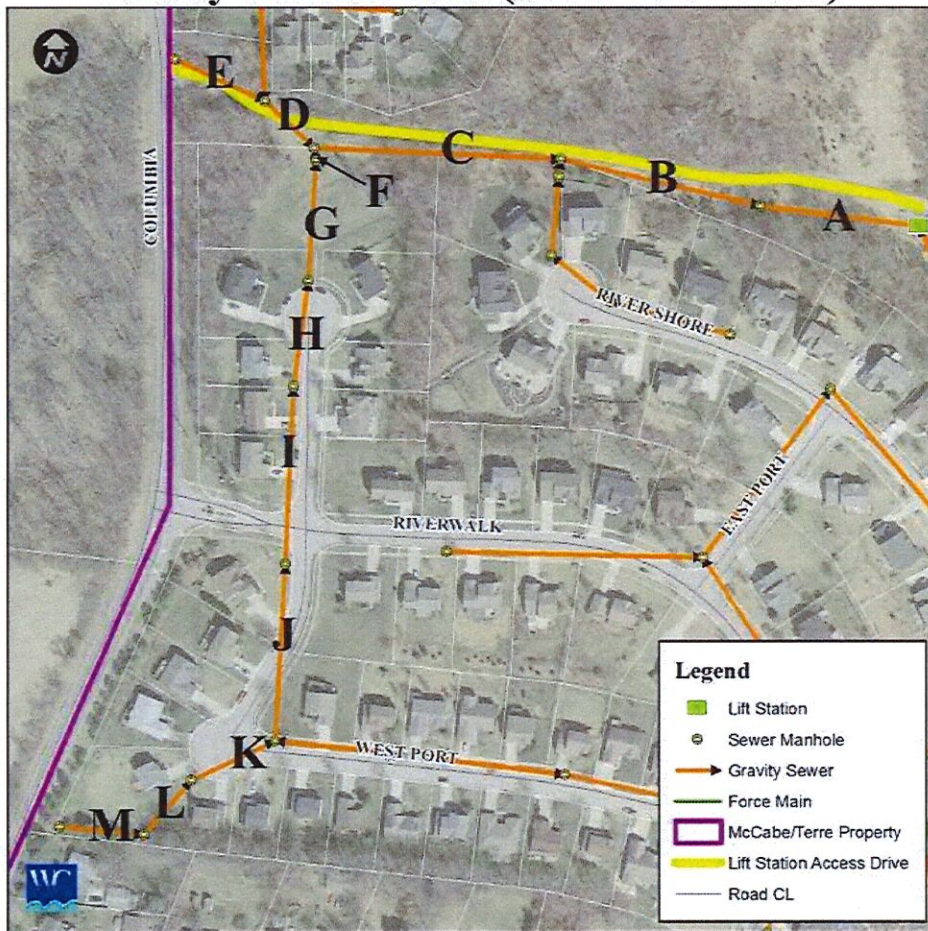
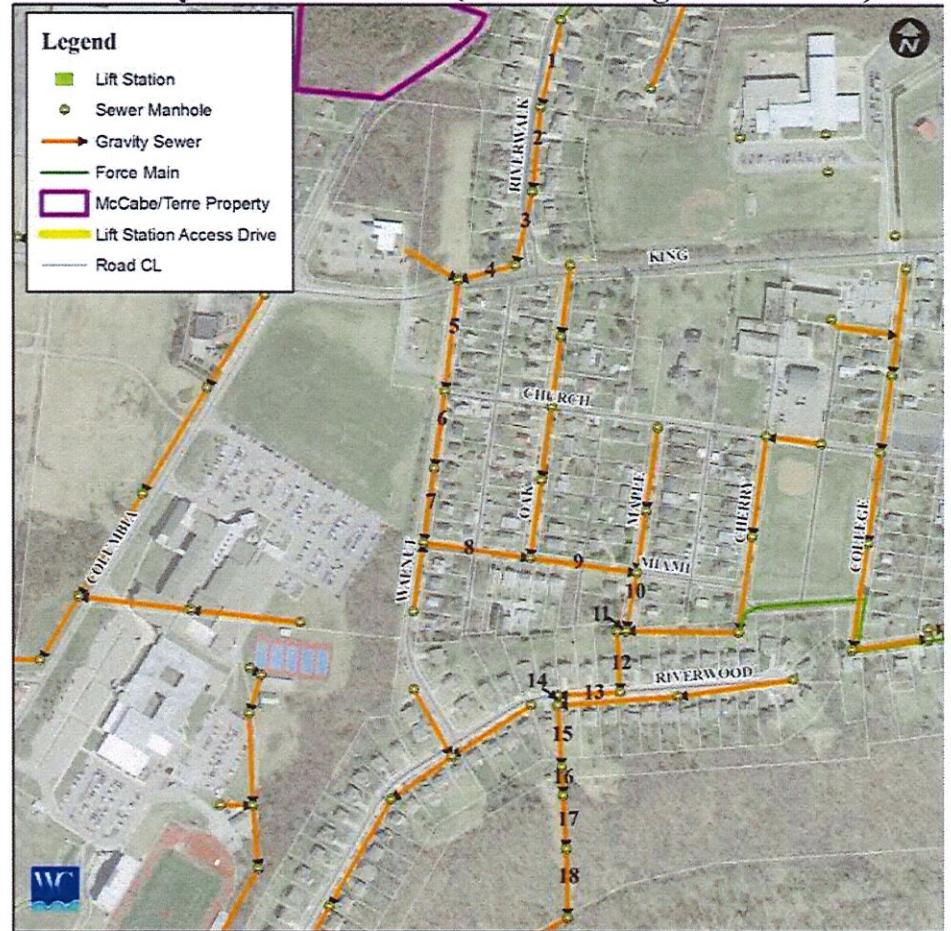


FIGURE A2
Gravity Sewer Sections (after existing Force Main)



Warren County Rural Zoning Commission

REZONING Case # 2023-05

**McCabe-Columbia #1 LLC &
McCabe-Columbia #3 LLC**

**Map Amendment to Warren County
Rural Zoning Map**

Union Township

July 12 @ 6:30 p.m.

**Copies made for Board Members, Trustees, Assistant
Prosecutor, and Zoning Inspector/Applicant**

Application for Zoning Map Amendment Non-Commercial ___ Commercial ___ PUD X

- 1) Owner (s)/Lessee(s) Name(s): McCabe-Columbia #1 LLC & McCabe-Columbia #3 LLC
Phone: See attachment E-mail: See attachment
Address: 4915 Columbia Road, Mason OH 45040
- 2) Property location / Address: COLUMBIA RD, MASON 45040
Parcel Id # see attachment Township: Unlon
- 3) Current Use Agriculture/Vacant/Residences Proposed Use M i x e d U s e
- 4) Request Zoning to change to: MXU-C w/ Overlay PUD from: MXU-C
- 5) Property Description: Total Acreage: 63.812 Public Road Frontage (feet): ±2,564'
- 6) Are there any Variances to the Zoning Regulations being requested? Yes: No:
- 7) Abbreviated Application Requirements (See Section 1.304.2):

- Applicant must meet with the Zoning Inspector and Staff Planner before submitting application
- Legal description / Deed (obtain in Recorder's Office 406 Justice Drive, Rm 237, or log onto <https://www.warrencountyrecorder.com>)
- Applicant must be present at the Public Hearing
- 4 identical aerial maps and 1 digital copy showing the area to be amended
- Statement of how the proposed Rezoning relates to the Warren County Comprehensive Plan.
- Location of natural features (i.e. ponds, water ways, wetlands, trees six-inch diameter or larger, etc.) shown on plot

- 8) Application requires compliance with the following in order for the Application to be complete:
 - Applicant must complete the attached Temporary License/Right of Entry (Page 2).
 - If Applicant is a corporation, Limited Liability Company or organized otherwise, corporate capacity must be stated

Owner(s)/Lessee(s) Name(s): Karen Hogan; Mike McCabe; The Daniel G. Taggart, LLC

Owner(s)/Lessee(s) Signature(s): JANIS HEIDEL Janis Heidel Date: 6/1/2023

Karen Hogan; Mike McCabe 6/2/23
McCabe-Columbia #1 LLC & McCabe-Columbia #3 LLC

I/We do hereby acknowledge that I/We have reviewed the attached Application completed and signed by the Applicant, and do hereby authorize Greg Thurman (Redwood USA) as Applicant to file and proceed with this Application for a zoning map amendment concerning My/Our property listed above.

JUN 5 2023

ZONING INSPECTION

July 12 23 @ 6:30

MET 6/5/23

1. PARCEL ID# 1207351001
 - a. OWNER NAME: McCabe-Columbia #1 LLC
 - i. CONTACT #1 – Karen Hogan, 513-772-4598, davekaren@gmail.com
 - ii. CONTACT #2 – Mike McCabe, 513-616-3345, wolcott7333@gmail.com
 - iii. CONTACT #3 – Janis Heigel, The Daniel G. Taggart, LLC, tmproppatrick3@gmail.com
 - iv. ADDRESS: 4915 Columbia Road, Mason OH 45040
 - b. PROPERTY ADDRESS: 4915 Columbia Rd, Mason 45040
 - c. TOWNSHIP: Union
 - d. CURRENT USE: general farm
 - e. PROPOSED USE: multi-family residential
 - f. REQUEST ZONING CHANGE TO: Overlay PUD
 - g. PROPERTY DESCRIPTION: TOTAL ACREAGE: 11.928
 - i. PUBLIC ROAD FRONTAGE: ± 1,190'

2. PARCEL ID# 1207301002
 - a. OWNER NAME: McCabe-Columbia #3 LLC
 - i. CONTACT #1 – Karen Hogan, 513-772-4598, davekaren@gmail.com
 - ii. CONTACT #2 – Mike McCabe, 513-616-3345, wolcott7333@gmail.com
 - iii. CONTACT #3 – Janis Heigel, The Daniel G. Taggart, LLC, tmproppatrick3@gmail.com
 - iv. ADDRESS: 4915 Columbia Road, Mason OH 45040
 - b. PROPERTY ADDRESS: Columbia Rd, Mason 45040
 - c. TOWNSHIP: Union
 - d. CURRENT USE: vacant land
 - e. PROPOSED USE: multi-family residential
 - f. REQUEST ZONING CHANGE TO: Overlay PUD
 - g. PROPERTY DESCRIPTION: TOTAL ACREAGE: 16.424
 - i. PUBLIC ROAD FRONTAGE: ± 1,374'

3. PARCEL ID# 1213400003
 - a. OWNER NAME: McCabe-Columbia #3 LLC
 - i. CONTACT #1 – Karen Hogan, 513-772-4598, davekaren@gmail.com
 - ii. CONTACT #2 – Mike McCabe, 513-616-3345, wolcott7333@gmail.com
 - iii. CONTACT #3 – Janis Heigel, The Daniel G. Taggart, LLC, tmproppatrick3@gmail.com
 - iv. ADDRESS: 4915 Columbia Road, Mason OH 45040
 - b. PROPERTY ADDRESS: Columbia Rd, Mason 45040
 - c. TOWNSHIP: Union
 - d. CURRENT USE: vacant land
 - e. PROPOSED USE: multi-family residential
 - f. REQUEST ZONING CHANGE TO: Overlay PUD
 - g. PROPERTY DESCRIPTION: TOTAL ACREAGE: 4.52
 - i. PUBLIC ROAD FRONTAGE: n/a

RECEIVED

JUN 5 2023

ZONING INSPECTION

4. PARCEL ID# 1213400004

- a. OWNER NAME: McCabe-Columbia #1 LLC
 - i. CONTACT #1 – Karen Hogan, 513-772-4598, davekaren@gmail.com
 - ii. CONTACT #2 – Mike McCabe, 513-616-3345, wolcott7333@gmail.com
 - iii. CONTACT #3 – Janis Heigel, The Daniel G. Taggart, LLC, tmproppatrick3@gmail.com
 - iv. ADDRESS: 4915 Columbia Road, Mason OH 45040
- b. PROPERTY ADDRESS: 4917 Columbia Rd, Mason 45040
- c. TOWNSHIP: Union
- d. CURRENT USE: general farm
- e. PROPOSED USE: multi-family residential
- f. REQUEST ZONING CHANGE TO: Overlay PUD
- g. PROPERTY DESCRIPTION: TOTAL ACREAGE: 30.94
 - i. PUBLIC ROAD FRONTAGE: n/a

RECEIVED

JUN 5 2023

ZONING INSPECTION

12071000020
SUTTON FIRMAN-TRUST. FEL
UNKNOWN **
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12073520040
MORGAN CHRISTOPHER R.
%SUPERIOR CRED UNION 4230...
LIMA, OH 45807

16121020031
BARNETT SARAH
1882 RANDALL DR
MASON, OH 45040

12134000010
HEIMAN PAUL
4376 COX SMITH RD
MASON, OH 45040

12073520050
GREEN MARSHA L.
1798 SINGLETON DR
MASON, OH 45040

16121020041
LESTER DUELL & ETTA MAE
1862 RANDALL DR
MASON, OH 45040

12073020040
LONSKE RICHARD & BRENDA
4460 COLUMBIA RD
MASON, OH 45040

12073520020
SULLIVAN GREGORY G.
4848 COLUMBIA RD
MASON, OH 45040

16121020051
RAMOS JON & RACHEL
2835 PHAETON LN
MAINEVILLE, OH 45039

12073050010
VILLAS OF RIVERS EDGE HOM
%EAGLE REALTY GROUP 421 E...
CINCINNATI, OH 45202

12073530010
BOATRIGHT SHARON ET AL:
4876 COLUMBIA RD
MASON, OH 45040

16182000110
SCHUMACHER ERIC R. & STE
5059 COLUMBIA RD
MASON, OH 45040

12134000030
MC CABE-COLUMBIA #3 LLC
4915 COLUMBIA RD
MASON, OH 45040

12073530040
SHIRKEY VANCE
1861 SINGLETON
MASON, OH 45040

16121030010
HARPHANT WENDY L. & TROY
5052 COLUMBIA RD
MASON, OH 45040

12073050030
4585 RIVER COVE LLC
4970 WATER STONE LN
MAINEVILLE, OH 45039

12073530050
IVASYUTYAK ANDRIY O
1841 SINGLETON DR
MASON, OH 45040

16121030030
GARDNER AMANDA K & *
1887 RANDELL DR
MASON, OH 45040

12073100160
STULL WILLIAM R & EULA F
4636 RIVER COVE
KINGS MILLS, OH 45034

12073530060
WISBEY JACOB
8664 ROCKY TRAIL
MASON, OH 45040

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BOLES JOYCE D. & BROWN
1861 RANDALL DR
MASON, OH 45040

12073100170
VILLAS OF RIVERS EDGE HOM
%EAGLE REALTY GROUP 421 E...
CINCINNATI, OH 45202

12073530020
MARSHALL SARAH
204 PEXIDER DR
ANNA, OH 45040

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MC CARTY JAMES A. & *
1839 RANDALL DR
MASON, OH 45040

12134000040
MC CABE COLUMBIA # 1LLC
4915 COLUMBIA RD
MASON, OH 45040

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LASWELL E. DOUGLAS & CHE
4914 COLUMBIA RD
MASON, OH 45040

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STATE OF OHIO
, 0

12073520030
GABBARD GEORGE & SHIRLEY
1848 SINGLETON DR
MASON, OH 45040

16121010010
ANGUIZ MELISSA & DANIEL
5015 COLUMBIA RD
MASON, OH 45040

12073010020
MC CABE- COLUMBIA #3 LLC
4915 COLUMBIA RD
MASON, OH 45040

12073050100
KIMBERLIN HANSEL D. JR.
11 RIVER COVE
KINGS MILLS, OH 45034

12073100140
CAMPBELL ALICIA
4616 RIVER COVE
KINGS MILLS, OH 45034

12073200120
BROWN LAWRENCE E.
4751 RIVERWALK DR
KINGS MILLS, OH 45034

12073050090
NOLAN BRENDON S.
4513 RIVER COVE
KINGS MILLS, OH 45034

12073140200
HOGAN CHRISTOPHER & CRO...
1787 RIVERSHORE DR
KINGS MILLS, OH 45034

12073520240
DAVIS SONYA & MILLER DO
1813 WESTPORT DR
KINGS MILLS, OH 45034

12073050060
PARKER JEREMY R. & *
4553 RIVER COVE DR
KINGS MILLS, OH 45034

12073140040
WAKEFIELD MARY L.
4719 NORTHPORT CT
KINGS MILLS, OH 45034

12073200090
ROBERTS TIMOTHY CRAIG
1770 WESTPORT DR
KINGS MILLS, OH 45034

12073100070
TATONE ELLEN E.
4566 RIVER COVE DR
KINGS MILLS, OH 45034

12073140190
ROBB DANIEL L.
1781 RIVER SHORE
KINGS MILLS, OH 45034

12073200080
FARRELL PATRICK JOSEPH &
1750 WEST PORT
KINGS MILLS, OH 45034

12073050050
SPLEEN JENNIFER L.
4565 RIVER COVE
KINGS MILLS, OH 45034

12073140020
WILDERS GEORGE & LAUREN
4745 NORTHPORT CT
KINGS MILLS, OH 45034

12073200070
BRAMBLE CRAIG G.
1738 WEST PORT
KINGS MILLS, OH 45034

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WILLIAMS SUSAN
4576 RIVER COVE DR
KINGS MILLS, OH 45034

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BASNET DHIRAJ & KHADKA*
4746 NORTH PORT
KINGS MILLS, OH 45034

12073520220
PESKIN JOAN S.
1793 WEST PORT
KINGS MILLS, OH 45034

12073050020
HAWKINS BETTY J.
4645 RIVER COVE DR
KINGS MILLS, OH 45034

12073140090
RUDDY KEVIN M.
4742 RIVERWALK DR
KINGS MILLS, OH 45034

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MAAG LISA K. & REED *
1726 WESTPORT DR
KINGS MILLS, OH 45034

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MOONEY VIRGINIA L.
%SHAREFAX 1147 OLD ST RT 7...
BATAVIA, OH 45154

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BENGAL JOHN ROBERT & *
4754 RIVERWALK DR
KINGS MILLS, OH 45034

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BLACKSTON WHITNEY J. & *
%NATIONS RELIABLE 4400 POS...
HOUSTON, TX 77027

12073100090
MORRIS DANNY R.
4586 RIVER COVE DR
KINGS MILLS, OH 45034

12073140080
NOEL MICHAEL L. & LORI *
4722 RIVERWALK DR
KINGS MILLS, OH 45034

12073520200
PATRICK JOSEPH & DAYNA L
%CITIBANK PO BOX 7706
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12073100150
MARSH PAUL V. JR. & *
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KINGS MILLS, OH 45034

12073200110
HUENING DANIEL I. & LOIS
4737 RIVERWALK DR
KINGS MILLS, OH 45034

12073520170
E & M PROPERTIES LLC
4621 SPRING VALLEY C
MASON, OH 45034

12073520160
HELGERT JAMES F. & LINDA
41 WESTPORT DR
KINGS MILLS, OH 45034

12073140270
RIVERWALK HOMEOWNERS' A...
%TOWNE PROP. #202 11340 MO...
CINCINNATI, OH 45249

12073520190
LI YING
1779 WESTPORT DR
KINGS MILLS, OH 45034

12073520010
BARTONI LOREN M.
4828 COLUMBIA RD
MASON, OH 45040

12073140210
TOMPOS KENNETH C. & KARE
1788 RIVER SHORE
KINGS MILLS, OH 45034

12073520230
SWEIGART JAMES ALLAN *
1801 WESTPORT DR
KINGS MILLS, OH 45034

16121030070
ATHY CLARINE & CARPER R
PO BOX 96 5514 MAPLE ST
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12073140060
ASHER JAMES
4734 NORTH PORT
KINGS MILLS, OH 45034

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SCHROER JOSHUA B &
4461 COLUMBIA RD
MASON, OH 45040

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CINCINNATI, OH 45249

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BARKER WILLIAM & TINA
4720 NORTH PORT CT
KINGS MILLS, OH 45034

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WEIDUS WILLIAM J & *
4610 RIVER COVE
KINGS MILLS, OH 45034

12073510010
MC CABE-COLUMBIA #1 LLC *
4915 COLUMBIA RD
MASON, OH 45040

12073140030
TENLEY ERIC S. & LAURA S
4733 NORTH PORT CT
KINGS MILLS, OH 45034

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LINSLEY PAUL H. & DEANNA
4606 RIVERS COVE
KINGS MILL, OH 45034

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GINN WAYNE M. & JUDY A.
4944 COLUMBIA RD
MASON, OH 45040

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RIVERWALK HOMEOWNERS' A...
%TOWNE PROP. #202 11340 MO...
CINCINNATI, OH 45249

12073100110
WILSON RONALD & JANETTA
4602 RIVER COVE
KINGS MILL, OH 45034

16121020012
FUESTON DONNA J.
5006 COLUMBIA RD
MASON, OH 45040

12073140010
CALLOWAY RICHARD T.
4763 NORTHPORT DR
KINGS MILLS, OH 45034

12073100100
FEATHER STANLEY C.
4594 RIVER COVE
KINGS MILLS, OH 45034

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BARNETT SARAH
1882 RANDALL DR
MASON, OH 45040

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GRIFFITHS MATTHEW G. &
%US BANK 2300 WALL ST
CINCINNATI, OH 45212

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MAXWELL JAY R. & JONI L.
4560 RIVER COVE
KINGS MILLS, OH 45034

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LESTER DUELL & ETTA MAE
1862 RANDALL DR
MASON, OH 45040

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HOGAN MICHAEL A. & JILL*
4719 RIVERWALK DR
KINGS MILLS, OH 45034

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ASHCRAFT ARTHUR J. & KAR
4552 RIVER COVE
KINGS MILLS, OH 45034

16121020052
RAMOS JON & RACHEL
8601 HIGHTRAIL CT
MASON, OH 45034

12073520210
DAY CHRISTOPHER M. &
1791 WEST PORT
KINGS MILLS, OH 45034

12073100040
PENCE KATHY & BRIAN
4544 RIVER COVE
KINGS MILLS, OH 45034

12073100030
FERRELL KEN ASHLEY & *
4538 RIVER COVE
KINGS MILLS, OH 45034

16121030020
SAUJON TREVOR
5068 COLUMBIA RD
MASON, OH 45040

12073100020
FREDERICK BALEY GUILER *
4530 RIVER COVE DR
KINGS MILLS, OH 45034

16182760090
KINGS/71 LLC
8620 TYLER BLVD
MENTOR, OH 44060

12073100010
SANFORD TRENT D. & *
4522 RIVER COVE DR
KINGS MILLS, OH 45034

16121020011
FUESTON DONNA J.
5006 COLUMBIA TR
MASON, OH 45040

12073050120
ANDERSON RYAN J. & AMIE*
4514 RIVER COVE DR
KINGS MILLS, OH 45034

16182520060
WARREN CO. COMMISSIOMER...
406 JUSTICE DR
LEBANON, OH 45036

12073050110
BRINKER CONSTANCE M.
4512 RIVER COVE CT
KINGS MILLS, OH 45034

12073020010
LONSKE RICHARD & BRENDA
4460 COLUMBIA RD
MASON, OH 45040

12073050080
FAGER LINDSAY A
4517 RIVER COVE DR
KINGS MILLS, OH 45034

12132000260
MASON FARMS INC.
3000 G HENKLE DR
LEBANON, OH 45036

12073050070
TUDOR BRYAN K & *
4531 RIVER COVE DR
KINGS MILL, OH 45034

12073050130
SCHOETTINGER LUKE
4518 RIVER COVE DR
KINGS MILLS, OH 45034

16182000020
STURDIVANT JACQUELINE M.
5023 COLUMBIA RD
MASON, OH 45040

121020020
BRADLEY. JOHN P
5024 COLUMBIA RD
MASON, OH 45040

TEMPORARY LICENSE/RIGHT OF ENTRY FOR POSTING SIGN
(to be completed and signed by all Owner(s) of record)

In accordance with Section 1.304.3 (A), a sign stating the public process for this specific property shall be posted on the property subject to Zoning Map Amendment, accordingly, all Owner(s) do hereby grant to Warren County and its employees or agents a temporary license/right of entry onto the subject property to place and maintain a sign as required in Section 1.304.3 (A) of the Warren County Rural Zoning Code. The duration of this temporary license/right of entry is from the date of execution of the Application for Zoning Map Amendment until the sign is removed by Warren County or its employees or agents on or immediately after the date the final public hearing is closed by the Approving Authority.

SIGNED BY:

Karen Hogan 6/1/23
Owner Signature Date

Karen Hogan McCabe-Columbia #1 LLC & McCabe-Columbia #3 LLC
Owner (please print)

Mike McCabe 6/2/23
Owner Signature Date
McCabe-Columbia #1 LLC & McCabe-Columbia #3 LLC

Mike McCabe McCabe-Columbia #1 LLC & McCabe-Columbia #3 LLC
Owner (please print)

Janis Heidel JANIS HEIDEL 6/1/2023
Owner Signature Date

The Daniel G. Taggart, LLC
Owner (please print)

RECEIVED

JUN 5 2023

WITNESSED BY:

David Hogan David Hogan 6-2-2023
Name (please print) Signature Date

ZONING INSPECTION

Name (please print) Signature Date

TEMPORARY LICENSE/RIGHT OF ENTRY FOR POSTING SIGN

(to be completed and signed by all Owner(s) of record)

In accordance with Section 1.304.3 (A), a sign stating the public process for this specific property shall be posted on the property subject to Zoning Map Amendment, accordingly, all Owner(s) do hereby grant to Warren County and its employees or agents a temporary license/right of entry onto the subject property to place and maintain a sign as required in Section 1.304.3 (A) of the Warren County Rural Zoning Code. The duration of this temporary license/right of entry is from the date of execution of the Application for Zoning Map Amendment until the sign is removed by Warren County or its employees or agents on or immediately after the date the final public hearing is closed by the Approving Authority.

SIGNED BY:

Owner Signature _____ Date _____

Karen Hogan

Owner (please print) _____

Owner Signature _____ Date _____

Mike McCabe

Owner (please print) _____

Janis Heidel JANIS HEIDEL 6/1/2023

Owner Signature *JSH* _____ Date _____

The Daniel G. Taggart, LLC

Owner (please print) _____

RECEIVED

JUN 5 2023

WITNESSED BY:

Kerry Heidel *Kerry Heidel* 6/1/2023

Name (please print) _____ Signature _____ Date _____

ZONING INSPECTION

Name (please print) _____ Signature _____ Date _____

3
38
revised

QUIT CLAIM DEED

MCCABE LIMITED PARTNERSHIP, an Ohio limited partnership (hereinafter "Grantor"), whose address is 4915 Columbia Road, Mason, Ohio 45040 for valuable consideration to it paid by **MCCABE-COLUMBIA #1, LLC**, an Ohio limited liability company (hereinafter "Grantee"), whose address is 4915 Columbia Road, Mason, Ohio 45040, remises, releases and forever quit claims and assigns to said Grantee, its successors and assigns, the following described real estate (the "Property"):

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

and all the estate, title and interest of said Grantor either in law or in equity, of, in and to said Property; together with all of the privileges and appurtenances to the same belonging, and all rents, issues and profits hereof; to have and to hold the same to the only proper use of the said Grantee, its successors and assigns forever.

Prior Instrument Reference: Official Record Volume 1977, Page 715
Warren County, Ohio Records

Grantor has executed this Deed this 11th day of June, 2003.

GRANTOR:

MCCABE LIMITED PARTNERSHIP,
an Ohio limited partnership

By *Patrick McCabe*
Patrick McCabe, General Partner

STATE OF OHIO)
) SS:
COUNTY OF Hamilton)

The foregoing instrument was acknowledged before me this 11th day of June, 2003, by Patrick McCabe, General Partner of the **MCCABE LIMITED PARTNERSHIP**, an Ohio limited partnership, on behalf of said limited partnership.

Bryan M. Webb
Notary Public

BRYAN M. WEBB
Notary Public, State of Ohio
His Commission Expires Mar. 7, 2004

This instrument prepared by:

Christopher J. Skufca, Esq.
Keating, Muething & Klekamp, P.L.L.
1400 Provident Tower
One East Fourth Street
Cincinnati, Ohio 45202
(513) 579-6400

BOOK 3259 PAGE 688

RECEIVED

JUN 5 2003

ZONING INSPECTION

EXHIBIT A

PT. 12-07-351-001 – Columbia 1
PT. 12-13-400-004 – Columbia 2

DET

AN UNDIVIDED ONE-HALF INTEREST IN THE FOLLOWING DESCRIBED REAL ESTATE:

FIRST TRACT: Situate in Union Township, Warren County, the State of Ohio, and being a part of Sections No. 7 and 13, Town 4, Range 3, between the Miami Rivers, and bounded as follows, viz: Beginning at three stones, at the Southwest corner of Section No. 7 and running thence with the West line of said Section North 4° 20' E. 1.50 chains to a stone corner to F.B. Lytle's land; thence with his line S. 86° E. 4.50 chains to a post in the West side of the Columbia Road; thence with another of said Lytle's lines, running diagonally across said road N. 21° 50' E. 10.09 chains to a stone on the East side of the road bed; thence on a dividing line N. 35° 20' W. 27.81 chains to a point in the Creek in the line of Jonathan Smith's land, witness a stone S. 85° 20' E. 25 Links; thence with said line S. 4° 20' W. 11.16 chains to a stone in the South line of Section No. 13; thence with said section line S. 35° 15' E. 20.33 chains to the place of beginning, containing 28.51 Acres; 5.82 Acres being in Section No. 7, and 22.69 Acres in Section No. 13, Bearings true meridian. Said real estate comprising all of the third and fourth tracts and part of the second tract as described in the Deed of W. F. Eltzroth and Nellie B. Eltzroth to Samuel Bowyer of date May 31st, 1899, and recorded in Deed Book No. 78, Page 426, Warren County, Ohio, Deed Records.

PT 12-07-351-001 + PT. 12-13-400-004

SECOND TRACT: Situated in the State of Ohio, County of Warren and in Union Township and being a part of Sections No. 7 and 13 of T. 4, E.R. 3, N. and being bounded and described as follows: Beginning at a stone in the East line of the road bed of the Columbia Pike and Corner to property of Fred Wood and May Belle Wood; thence running with said pike N. 21° 13" E. 6.51 chains to a corner, witness a stone in line N. 86° 43' W. 20 Ft., thence N. 86° 43' W. 29.89 chains to a stone in the East line of property of John W. and John A. Allen; thence with said line S. 3° 36' W. 6.19 chains to the North line of property of Fred W. and May Belle Wood; thence with said line S. 86° 43' E. 27.81 chains to the beginning, containing 17.85 Acres. The part hereby conveyed being 12.40 Acres from a 27.31 Acre tract in Section 13, a 4.67 Acre Tract and 0.76 Acres from an 80.75 Acre Tract in Section 7.

DET

PT. 12-07-351-001

DET

THIRD TRACT: Situate in Union Township, Warren County, Ohio, and being a part of Section No. Seven (7) of Town 4, E. and Range #3 N., between the Miami Rivers and being bounded and further described as follows: to-wit: Beginning at three stones at the Southwest corner of said Section No. Seven (7) and running thence with the West line of said section North 4° 20' E. 1.50 chains to a stone corner to land formerly the property of F.B. Lytle; thence with the North boundary line of said land S. 86° E. 4.50 chains to a post in the West line of the Columbia Road; thence with the west line of said Road S. 7° 50' W. 1.56 chains to a post; thence N. 85° 30' W. (passing an iron gas pipe drive into the ground two feet from said post) 4.40 chains to the place of beginning, containing 678/1000 of an Acre.

RECEIVED

JUN 5 2023

BOOK 3259 ZONING INSPECTION PAGE 189

There is excluded from the above described property the property heretofore conveyed by grantor to the State of Ohio for I-71, which is described as follows:

Commencing at an iron pin in the southerly line of Section 13, in Township 4 East and Range 3 North in the County of Warren, where the same intersects a property line between the lands of Harry B. Schrenk, Sr. and said grantor, thence along grantor's westerly property line North 05° 49' 17" East a distance of 362.01 feet to the TRUE place of beginning, being a point 164.17 feet Right of Station 463+17.45 in the centerline of a survey made in 1961 by Louis Berger & Associates of State Route 1, Section 5.72, in Warren County, also known as the Columbus-Cincinnati Expressway; thence continuing along grantor's westerly property line North 05° 49' 17" East a distance of 552.94 feet, crossing the centerline survey at Station 465+66.68; thence along the northwesterly line of Limited Access of State Route 1 North 39° 45' 32" East a distance of 276.93 feet; thence along grantor's northerly property line South 84° 24' 16" East a distance of 342.17 feet, crossing the centerline survey at Station 471+44.79; thence along the southeasterly line of Limited Access of State Route 1 South 37° 39' 24" West a distance of 744.72 feet; thence South 41° 01' 25" West a distance of 182.64 feet to the TRUE place of beginning.

1058055.1

10001
TRANSFERRED

21
SEP 09 2003

SEC. 319.202 COMPLIED WITH
NICK NELSON, Auditor
WARREN COUNTY, OHIO

RECEIVED
JUN 5 2023
ZONING INSPECTION

BOOK 3259 PAGE 690

BETH DECKARD - WARREN COUNTY RECORDER
Doc #: 425137 Type: DEED
Filed: 9/09/2003 14:25:14 \$ 35.00
OR Volume: 3259 Page: 698 Return: M
Rec#: 25057 Pages: 3
RIVERBEND COMMERCIAL TITLE AGENCY LTD

3
3/6/2003

QUIT CLAIM DEED

MCCABE LIMITED PARTNERSHIP, an Ohio limited partnership (hereinafter "Grantor"), whose address is 4915 Columbia Road, Mason, Ohio 45040 for valuable consideration to it paid by MCCABE-COLUMBIA #2, LLC, an Ohio limited liability company (hereinafter "Grantee"), whose address is 4915 Columbia Road, Mason, Ohio 45040, remises, releases and forever quit claims and assigns to said Grantee, its successors and assigns, the following described real estate (the "Property"):

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

and all the estate, title and interest of said Grantor either in law or in equity, of, in and to said Property; together with all of the privileges and appurtenances to the same belonging, and all rents, issues and profits hereof; to have and to hold the same to the only proper use of the said Grantee, its successors and assigns forever.

Prior Instrument Reference: Official Record Volume 1977, Page 715
Warren County, Ohio Records

Grantor has executed this Deed this 11th day of June, 2003.

GRANTOR:

MCCABE LIMITED PARTNERSHIP,
an Ohio limited partnership

Patrick McCabe

Patrick McCabe, General Partner

STATE OF OHIO)
COUNTY OF Hamilton) SS:

The foregoing instrument was acknowledged before me this 11th day of June, 2003, by Patrick McCabe, General Partner of the MCCABE LIMITED PARTNERSHIP, an Ohio limited partnership, on behalf of said limited partnership.

Brian M. Webb
Notary Public

BRIAN M. WEBB
Notary Public, State of Ohio
My Commission Expires Mar. 7, 2004

This instrument prepared by:

Christopher J. Skufca, Esq.
Keating, Muething & Klekamp, P.L.L.
1400 Provident Tower
One East Fourth Street
Cincinnati, Ohio 45202
(513) 579-6400

BOOK 3259 PAGE 691

RECEIVED

JUN 5 2003

ZONING INSPECTION

EXHIBIT A

PT. 12-07-351-001 – Columbia 1
PT. 12-13-400-004 – Columbia 2

DB

AN UNDIVIDED ONE-HALF INTEREST IN THE FOLLOWING DESCRIBED REAL ESTATE:

FIRST TRACT: Situate in Union Township, Warren County, the State of Ohio, and being a part of Sections No. 7 and 13, Town 4, Range 3, between the Miami Rivers, and bounded as follows, viz: Beginning at three stones, at the Southwest corner of Section No. 7 and running thence with the West line of said Section North 4° 20' E. 1.50 chains to a stone corner to F.B. Lytle's land; thence with his line S. 86° E. 4.50 chains to a post in the West side of the Columbia Road; thence with another of said Lytle's lines, running diagonally across said road N. 21° 50' E. 10.09 chains to a stone on the East side of the road bed; thence on a dividing line N. 35° 20' W. 27.81 chains to a point in the Creek in the line of Jonathan Smith's land, witness a stone S. 85° 20' E. 25 Links; thence with said line S. 4° 20' W. 11.16 chains to a stone in the South line of Section No. 13; thence with said section line S. 35° 15' E. 20.33 chains to the place of beginning, containing 28.51 Acres; 5.82 Acres being in Section No. 7, and 22.69 Acres in Section No. 13, Bearings true meridian. Said real estate comprising all of the third and fourth tracts and part of the second tract as described in the Deed of W. F. Eltzroth and Nellie B. Eltzroth to Samuel Bowyer of date May 31st, 1899, and recorded in Deed Book No. 78, Page 426, Warren County, Ohio, Deed Records.

PT 12-07-351-001 PT. 12-13-400-004 *DB*

SECOND TRACT: Situated in the State of Ohio, County of Warren and in Union Township and being a part of Sections No. 7 and 13 of T. 4, E.R. 3, N. and being bounded and described as follows: Beginning at a stone in the East line of the road bed of the Columbia Pike and Corner to property of Fred Wood and May Belle Wood; thence running with said pike N. 21° 13' E. 6.51 chains to a corner, witness a stone in line N. 86° 43' W. 20 Ft., thence N. 86° 43' W. 29.89 chains to a stone in the East line of property of John W. and John A. Allen; thence with said line S. 3° 36' W. 6.19 chains to the North line of property of Fred W. and May Belle Wood; thence with said line S. 86° 43' E. 27.81 chains to the beginning, containing 17.85 Acres. The part hereby conveyed being 12.40 Acres from a 27.31 Acre tract in Section 13, a 4.67 Acre Tract and 0.76 Acres from an 80.75 Acre Tract in Section 7.

PT. 12-07-351-001 *DB*

THIRD TRACT: Situate in Union Township, Warren County, Ohio, and being a part of Section No. Seven (7) of Town 4, E. and Range #3 N., between the Miami Rivers and being bounded and further described as follows: to-wit: Beginning at three stones at the Southwest corner of said Section No. Seven (7) and running thence with the West line of said section North 4° 20' E. 1.50 chains to a stone corner to land formerly the property of F.B. Lytle; thence with the North boundary line of said land S. 86° E. 4.50 chains to a post in the West line of the Columbia Road; thence with the west line of said Road S. 7° 50' W. 1.56 chains to a post; thence N. 85° 30' W. (passing an iron gas pipe drive into the ground two feet from said post) 4.40 chains to the place of beginning, containing 678/1000 of an Acre.

RECEIVED

JUN 5 2023

BOOK 3259 PAGE 692

ZONING INSPECTION

There is excluded from the above described property the property heretofore conveyed by grantor to the State of Ohio for I-71, which is described as follows:

Commencing at an iron pin in the southerly line of Section 13, in Township 4 East and Range 3 North in the County of Warren, where the same intersects a property line between the lands of Harry B. Schrenk, Sr. and said grantor, thence along grantor's westerly property line North 05° 49' 17" East a distance of 362.01 feet to the TRUE place of beginning, being a point 164.17 feet Right of Station 463+17.45 in the centerline of a survey made in 1961 by Louis Berger & Associates of State Route 1, Section 5.72, in Warren County, also known as the Columbus-Cincinnati Expressway; thence continuing along grantor's westerly property line North 05° 49' 17" East a distance of 552.94 feet, crossing the centerline survey at Station 465+66.68; thence along the northwesterly line of Limited Access of State Route 1 North 39° 45' 32" East a distance of 276.93 feet; thence along grantor's northerly property line South 84° 24' 16" East a distance of 342.17 feet, crossing the centerline survey at Station 471+44.79; thence along the southeasterly line of Limited Access of State Route 1 South 37° 39' 24" West a distance of 744.72 feet; thence South 41° 01' 25" West a distance of 182.64 feet to the TRUE place of beginning.

1058055.1

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TRANSFERRED
SEP 09 2003
SEC. 319.202 COMPLIED WITH
NICK NELSON, Auditor
WARREN COUNTY, OHIO

RECEIVED
BOOK 3259 PAGE 693 JUN 5 2023
ZONING INSPECTION

Doc #: 425138 Type: DEED
Filed: 9/09/2003 14:25:15 \$ 36.00
OR Volume: 3259 Page: 691 Return: M
Rec#: 25057 Pages: 3
RIVERBEND COMMERCIAL TITLE AGENCY LTD

EXHIBIT A

12-13-400-003
12-07-301-002

DB

Situate in Union Township, Warren County, Ohio, and being a part of Sections #7 and #13, Town 4, Range 3, and bounded and described as follows: Beginning at a point near the centerline of Columbia Road (County Road No. 15) at the southeast corner of a 103.95 acre tract, recorded in Deed Book 166, page 398, running thence, with the southerly line of said 103.95 acre tract, N. 84° 27' 10" W. (passing an iron rod at 30.00 feet) a distance of 1467.76 feet to an iron rod in the southeasterly Highway Boundary Line (Limited Access Line) of Interstate Route No. 71; running thence, with the southeasterly Boundary Line of said Highway, N. 39° 11' 44" E. 1750.81 feet to an iron rod in the easterly line of the aforesaid 103.95 acre tract; thence, with the easterly line of said Tract: (1) S. 10° 23' 20" E. 57.26 feet to an iron rod; (2) S. 40° 23' 20" E. 168.30 feet to an iron rod on the west side of Columbia Road; running thence, with said Road and still with the easterly lines of said 103.95 acre tract: (1) S. 30° 54' 00" E. 516.78 feet to an iron rod on the east side of Columbia Road; (2) S. 0° 31' 30" E. 784.24 feet to an iron rod; (3) S. 23° 22' 40" W. 94.38 feet to the point of beginning, containing twenty eight and nine hundred fifty-four thousandths (28.954) acres, subject to all legal highways. In the above described tract, there being 16.424 acres, more or less, in Section #7, and 12.530 acres, more or less, in Section #13.

SAVE AND EXCEPT an 8.01 acre tract appropriated by the State of Ohio; Case No. 34085, Warren County, Ohio, Common Pleas court. Judgment Entry of the Court recorded in Volume 455, Page 628, Warren County Deed Records.

Grantor is conveying an undivided one-half interest in the Property.

1058074.1

Book
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SEP 09 2003
SEC. 319.202 COMPLIED WITH
NICK NELSON, Auditor
WARREN COUNTY, OHIO

BOOK 3259 PAGE 695

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ONLINE INSPECTION
BETH DECKARD - WARREN COUNTY RECORDER
Doc #: 425139 Type: DEED
Filed: 9/09/2003 14:25:16 \$ 28.00
OR Volume: 3259 Page: 694 Return: M
Rec#: 23057
Pages: 2
RIVERBEND COMMERCIAL TITLE AGENCY LTD

EXHIBIT A

12-13-400-003 – McCabe-Columbia #3
12-07-301-002 – Columbia #4

DB

Situate in Union Township, Warren County, Ohio, and being a part of Sections #7 and #13, Town 4, Range 3, and bounded and described as follows: Beginning at a point near the centerline of Columbia Road (County Road No. 15) at the southeast corner of a 103.95 acre tract, recorded in Deed Book 166, page 398, running thence, with the southerly line of said 103.95 acre tract, N. 84° 27' 10" W. (passing an iron rod at 30.00 feet) a distance of 1467.76 feet to an iron rod in the southeasterly Highway Boundary Line (Limited Access Line) of Interstate Route No. 71; running thence, with the southeasterly Boundary Line of said Highway, N. 39° 11' 44" E. 1750.81 feet to an iron rod in the easterly line of the aforesaid 103.95 acre tract; thence, with the easterly line of said Tract: (1) S. 10° 23' 20" E. 57.26 feet to an iron rod; (2) S. 40° 23' 20" E. 168.30 feet to an iron rod on the west side of Columbia Road; running thence, with said Road and still with the easterly lines of said 103.95 acre tract: (1) S. 30° 54' 00" E. 516.78 feet to an iron rod on the east side of Columbia Road; (2) S. 0° 31' 30" E. 784.24 feet to an iron rod; (3) S. 23° 22' 40" W. 94.38 feet to the point of beginning, containing twenty eight and nine hundred fifty-four thousandths (28.954) acres, subject to all legal highways. In the above described tract, there being 16.424 acres, more or less, in Section #7, and 12.530 acres, more or less, in Section #13.

SAVE AND EXCEPT an 8.01 acre tract appropriated by the State of Ohio; Case No. 34085, Warren County, Ohio, Common Pleas court. Judgment Entry of the Court recorded in Volume 455, Page 628, Warren County Deed Records.

Grantor is conveying an undivided one-half interest in the Property.

1058074.1

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TRANSFERRED

B
SEP 09 2003
SEC. 319.202 COMPLIED WITH
MICK NELSON, Auditor
WARREN COUNTY, OHIO

BOOK 3259 PAGE 697

BEITH DECKARD - WARREN COUNTY RECORDER
Doc #: 425140 Typed DEED
Filed: 9/09/2003 14:25:17
OR Volume: 3259 Page: 698 Returns: M
Rec#: 25067 Pages: 2
RIVERBEND COMMERCIAL TITLE AGENCY LTD
RECEIVED
2023
ZONING INSPECTION

**UNION TOWNSHIP COLUMBIA ROAD OVERLAY PLANNED UNIT DEVELOPMENT
DEVELOPMENT TEXT
UNION TOWNSHIP, WARREN COUNTY, OHIO
JULY 12, 2023**

Applicant:

Redwood USA LLC
Gregory Thurman, VP of Acquisitions
7007 East Pleasant Valley Road
Independence, OH 44131
513-458-9810

Outside Consultants:

POD Design
Land Planning/Landscape Architecture
Todd Foley, Principal
100 Northwoods Blvd, Suite A
Columbus OH, 43235
614-360-3055

CESO
Civil Engineering
Mark Belmont, Director of Civil Engineering
175 Montrose West Ave, Suite 400
Akron, OH 44321
330-396-5678

Goodhue Consulting, Inc.
Traffic Consultant
Paul Goodhue, P.E., PTOE
937-271-7778

**UNION TOWNSHIP COLUMBIA RD OVERLAY PLANNED UNIT DEVELOPMENT
DEVELOPMENT TEXT**

1. APPLICABILITY:

Unless otherwise stated, development within Union Township Columbia Road Overlay PUD shall be governed entirely by these provisions (Development Text) and the provisions of the Warren County Rural Zoning Code, Warren County, Ohio, which are in effect at the time of issuance of any development order. All standards and concepts imposed herein or as represented on the PUD Stage 1 Concept Plan are a part of the regulations which will govern how the PUD may be developed. Any standards found in the Warren County Rural Zoning Code that are not modified, varied or addressed by this PUD document shall continue to apply to the PUD Site. These standards apply to the 63.812 acre site (Development Property).

2. STREETS:

The developers will work with the Warren County Engineer's Office and Union Township representatives to incorporate the design, timing, and construction of the primary collector/distributor public road, illustrated on EX-3 and identified on the Warren County Thoroughfare Plan. The design, phasing, and construction of the proposed improvements shall be reviewed and receive approval by the Warren County Engineer's Office. All streets within subareas A, B, and C will be private streets.

3. GENERAL DEVELOPMENT STANDARDS & REGULATIONS FOR ALL SUB-AREAS

a. **Purpose and Intent:** To create a mixed-use development with common streetscape, signage, lighting, and pedestrian amenities that are compatible throughout the Development. The Development Property is intended to be developed by multiple end users across the three subareas shown on EX-2, Subarea Plan. Residential uses may occur prior to the commercial uses. Subareas may be developed in phases.

b. **Definitions.** Unless specified, the definition of all terms shall be the same as defined in the Warren County Rural Zoning Code in effect at the time of zoning permit application.

i. **Dwelling Unit**

A residential use building or portion therein containing one (1) or more rooms used, designed, or intended for occupancy as a single household unit, in providing complete permanent facilities per all applicable Code requirements for living, sleeping, cooking, eating, bathing, washing, and sanitation. Sleeping rooms are regulated as Dwelling Units and included in the density of the PUD.

c. Permitted Uses. The following uses shall be permitted:

Subarea A:

- Attached single-story apartment dwellings;
- Model homes and sales offices;
- Home occupation uses, Class 1;
- Accessory structures associated with a residential use; and
- Publicly or privately owned parks and open spaces.

Subarea B:

- Apartment buildings;
- Townhouses;
- Clubhouse/community building and accessory buildings;
- Model homes and sales offices;
- Home occupation uses, Class 1;
- Accessory structures associated with a residential use;
- Publicly or privately owned parks and open spaces; and
- Other uses not identified may be permitted through a revised PUD Stage 1 process.

Subarea C:

- Adult Group Homes and Institutional Care Facilities (including Assisted Living, Memory Care, and Independent Living);
- Apartment buildings (Single story and multi-story);
- Townhouses;
- Clubhouse/community building and accessory buildings associated with the residential use;
- Model homes and sales offices;
- Home occupation uses, Class 1;
- Publicly or privately owned parks and open spaces; and
- Other uses not identified may be permitted through a revised PUD Stage 1 process.

d. Prohibited Uses:

The following uses shall be prohibited in all subareas. All uses identified in Section 2.407.4 of Mixed Use Center Zone Regulations and all other uses not identified in Section 3c are prohibited.

e. Density: There shall be a maximum of 512 residential dwellings with a gross maximum density of 9.41 dwelling units per residential acreage. The Adult Group Homes, Institutional Care Facilities, Independent Living, Assisted Living, etc. count toward the maximum gross residential density calculation.

- I. Attached single-story apartment dwellings shall be in configurations of 2 dwellings to 8 dwellings per building.
- II. Sub Area A density shall not exceed 134 dwelling units.
- III. Multiple-family apartment buildings (single-story and multi-story) shall be in configurations of 2 dwellings to 36 dwellings per building.
- IV. Sub Areas B & C shall not exceed 10 units per acre (gross density).

f. Setbacks: All setbacks shown on EX-2 Subarea Plan.

- I. **Public Road Setback** – There shall be a minimum pavement and building setback of 35 feet as measured from the road right-of-way.
- II. **Rear Yard Setback** – Sub Areas A and C shall have a minimum pavement and building setback of 35 feet. At grade, patios shall be permitted to encroach up to 8 feet and eaves shall be permitted to encroach up to 2 feet into the minimum rear yard setback.
- III. **Side Yard Setback** – 25 feet. At grade, patios shall be permitted to encroach up to 8 feet and eaves shall be permitted to encroach up to 2 feet into the minimum side yard setback.

g. Access & Parking

- I. **Access** – Primary vehicular access shall be provided from Columbia Road and the future Primary collector/distributor public road in the general location shown on Exhibit C, EX-3 Concept Plan. Access points illustrated on Exhibit C, EX-3 Concept Plan are subject to be reviewed by the Warren County Engineer's Office.
- II. **Parking** - Shall be in conformance with section 3.307 Schedule of required parking by use in Warren County Rural Zoning Code unless otherwise noted.
- III. **Parking dimensions** – Parking stall dimensions shall be a minimum of 9 feet wide by 18 feet length.

- h. Landscaping & Screening.** All landscaping and screening shall be installed by the developer of each subarea and shall meet the requirements of the current Warren County Rural Zoning Code. Landscaped buffers shall be placed along frontages adjacent to Columbia Road right-of-way and beyond the Public Utility Easement. Details of the landscaping plan shall be reviewed at PUD Stage 2.
- i. Lighting.** All lighting shall be installed by the developer of each subarea and shall meet the requirements of the current Warren County Rural Zoning Code.
- j. Signage.** All signage shall be installed by the developer of each subarea and shall meet the requirements of current Warren County Rural Zoning Code.
- k. Building Standards.**

 - I. Maximum Residential Building Height:** 3 stories not to exceed 40 feet and measured in accordance with the Warren County Rural Zoning Code.
 - II. Transitional Zone:** Portions of Subarea A & B that are directly adjacent to Columbia Road ROW shall have a maximum of two (2) stories, not to exceed 35 feet in height. This transitional zone is applicable for the first 25 feet beyond the front yard setback.
 - III. Minimum Dwelling Square Footage:** Subarea B & C – One bedroom dwellings: 600 square feet. Multiple bedroom dwellings shall meet the requirements of the Warren County Rural Zoning Code.
- l. Open Space:**

Each phase of the development shall provide 20% open space in compliance with Section 2.507.5 Open Space Standards for Overlay PUDs. Open Space design for Sub Areas B & C will be determined at a revised PUD Stage 1 process.

July 12, 2022

Applicants: Rural Zoning Commission
Case # 2022-02 McCabe-Columbia #1-3 LLC
Parcel # 12-07-351-001, 12-07-301-002, 12-13-400-003, &
12-13-400-004 located on Columbia Rd., Union Township
Map Amendment from the current zoning district MXU-C
Mixed Use Neighborhood Zone to MXU-C w/ Overlay PUD.

RZC Chairman, Ralph Campbell, called the hearing to order. Jackie Hankins, Zoning Department Administrative Assistant and RZC secretary called the roll and the following RZC members indicated they were present: Ginger Haddix, Ralph Campbell, and Mike Shaffer. Staff members were also present, including Michelle Tegtmeier, Director of Building and Ryan Cook, with the Regional Planning Commission.

Ms. Tegtmeier called her presentation onto the record as exhibit "Power Point exhibit #1".

Ms. Tegtmeier spoke giving the details of the rezoning application.

Ryan Cook with Warren County Regional Planning Commission (RPC), spoke about the recommendation from RPC.

Gregory Thurman, VP of Acquisitions 7007 East Pleasant Valley Rd. Independence, Ohio; he shared a presentation with the board telling the history about Redwood, the different locations of Redwood, telling the board about the type of cliental this type of project brings to the area, and showed them the different types of homes they will build.

The board asked Mr. Thurman a series of questions, trying to get more information out to the public. He replied accordingly.

Mr. Campbell opened the floor for any proponents of the map amendment that would like to speak. There were none.

Mr. Campbell opened the floor for any opponents of the map amendment that would like to speak.

1. Deb Cowan 1659 West Port Dr.
2. John Bibler 4904 Riverwalk Dr.
3. Paul Linsley 4606 River Cove
4. Josh Schroer 4461 Columbia Rd.
5. Kyle Buchhalter 5175 Columbia Rd.
6. Peggy Phillips 7621 Watercrest
7. Jackie Sturdivant 5023 Columbia Rd.
8. Gary Sturdivant 5023 Columbia Rd.
9. Ellen Tatone 4566 River Cove
10. Jenny Wilson 1594 Saint John Pl.
11. Mary Huhn 5485 Riverwalk Rd.
12. Connie Brinker 4512 River Cove Dr.

There were 12 people from the surrounding area that spoke as a opponent and they all had the similar concerns:

- First, they were very concerned about the traffic this development would create. They stated the heavy traffic and speed at this point is already very dangerous and they believe this new development will only make a bad situation worse. They also were worried the traffic would wreak havoc on the any type of EMS calls and create bad road conditions.
- Second, they had concerns about how this development was going to affect the school district, because they are already at full compacity and having to use trailers for classrooms.
- Third, they are concerned about their property taxes going up to accommodate the schools' taxes.
- Fourth, they had concerns with water runoff and ponds. They feel the development will create issues for the houses around the pond and creek.
- Fifth, some were concerned about the power grid around the surrounding area.

Mr. Campbell asked the board if they had any questions. There were none.

Mr. Shaffer moved to close the public hearing and to start the deliberations among the RZC board. Ms. Haddix seconded the motion. Upon call of the roll, the motion carried unanimously.

The public portion of the hearing was now closed.

Mrs. Haddix made a motion to recommend approval to the BOCC, Warren County Commissioners, for the map amendment of parcel #'s 12-07-351-001, 12-07-301-002, 12-13-400-003, & 12-13-400-004 from the current zoning district MXU-C Mixed Use Neighborhood Zone to MXU-C w/ Overlay PUD will all the following conditions from Warren County Regional Planning Commission:

1. All plans and proposals of the applicant shall be made conditions of approval, unless modified by one of the following conditions.
2. Compliance with the Warren County Rural Zoning Code, Warren County Subdivision Regulations, and the adopted PUD Standards.
3. A Traffic Impact Study (TIS) is required for the entire PUD, prior to PUD Stage 3 approval. The developer shall comply with the guidelines of the TIS outlined by the WCEO and shall be conducted with the assumption that the roadway (Kings Island Drive) has not been connected. Any road improvements deemed necessary by the WCEO shall be installed by the developer.
4. An access permit for each sub-area shall be approved prior to PUD Stage 3.
5. At the time of zoning permit application approval of the 17th building, a second access road shall be constructed. The second access will be designed for emergency use only until PUD Stage 1 & 2 is approved for Sub Areas B or C.
6. The road right-of-way for the Kings Island Drive extension shall be platted and dedicated for road right-of-way with the first Final Plat section.

7. Compliance with the requirements of the Union Township Fire Department for site access and circulation.
8. Prior to Preliminary Plan approval, the applicant shall receive the Warren County Engineer's Office review and approval for the site's internal private streets. Review and approval shall include pavement and lane width, public utility easements, pavement material, and cross-section design. On-street parking is prohibited in Sub-area A.
9. Prior to PUD Stage 3 the applicant receives approval from the Warren County Engineer's Department for stormwater management design and facilities.
10. Compliance with the requirements of the Warren County Soil and Water Conservation District (SWCD).
11. Compliance with the requirements of the Warren County Water & Sewer Department (See Exhibit E). Any improvements deemed necessary by the Warren County Water & Sewer Department shall be installed by the developer.
12. All proposed common open spaces and improvements, and maintenance of such areas are ensured through an appropriate legal instrument to comply with Section: 308 Preliminary Plan Review and Approval (E), 7 and Section 325: Dedication Procedures of the Warren County Subdivision Regulations.
13. Submit an updated Concept Plan prior to the Board of County Commissioner's meeting that identifies:
 - a. Where the rear, side, and street setbacks apply for each sub-area.
 - b. A phasing plan that illustrates the first phase including the associated constructed road network.
 - c. A conceptual illustration of the required open space (Section: 2.5.7.5) for Sub-area A.
 - d. Concepts for a compatible transition between the single-family residential uses along Columbia Road.
14. The revised PUD Standards in Exhibit D are adopted as the PUD Development Standards adding a maximum gross density of 9.41 units per residential acre with a maximum of 512 units.
15. Submit updated PUD Development Standards that clearly state the non-residential uses permitted in each Sub-areas B & C.
16. Any development in Sub Areas B & C shall receive PUD Stage 1 approval.

Mr. Shaffer seconded the motion.

Ginger Haddix	Yes
Ralph Campbell	Yes
Mike Shaffer	Yes

Upon call of the roll, the motion carried.

Mr. Campbell made a motion to approve minutes Case# 2023-01/02/03 Banker on 2-7-23.

Mr. Gibbs seconded the motion. Upon call of the roll, the following vote resulted:

Ginger Haddix Yes

Ralph Campbell Yes

Mr. Campbell motioned to close the meeting. Mr. Shaffer seconded the motion.

Upon roll call, the motion carried.

Respectfully submitted,

Jackie Hankins,
Secretary

Approved:

Ralph Campbell,
Chairman

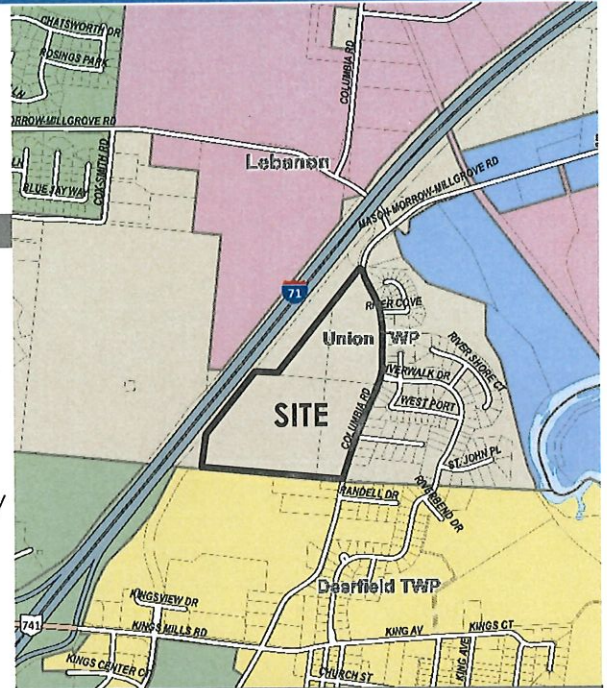


WARREN COUNTY REGIONAL PLANNING COMMISSION

MEETING DATE: June 22, 2023
TO: WCRPC Executive Committee
FROM: Ryan Cook, Senior Planner
SUBJECT: Columbia Road Redwood PUD Stage 1

GENERAL INFORMATION

Applicant: Greg Thurman
Owners: McCabe-Columbia #1 LLC
McCabe-Columbia #3 LLC
Surveyor/Engineer: POD Design – Todd Foley
Township: Union
Parcel IDs: 12-07-301-002-0; 12-13-400-003-0; 12-13-400-004-0;
12-07-351-001-0
Current Zoning: Mixed-Use Center (MXU-C) Interstate Highway Overlay
Proposed Zoning: Mixed-Use Center (MXU-C) with PUD Overlay
FLUM: Office & Multi-Family
Sewer Service: Warren County
Water Service: Warren County
Total Site Area: 63.812 acres



PROPOSAL

The applicant proposes a development of 63.812 acres with 3 sub-areas, A, B, and C. Area A consists of 24.5 acres proposing 134 attached single-story apartment dwellings with attached two-car garages ranging from 4 units per building to 8 units per building. Sub-area B consists of 15.3 acres and has a variety of proposed uses but no site plan. The proposed allowed uses in Area B are multi-family dwellings, townhomes, and clubhouse/ community buildings. Sub-area C is 14.6 acres and does not illustrate a site plan but has the following allowed uses adult group homes, institutional care facilities, assisted living, multi-family dwellings, and townhouses. The overall proposed maximum gross density for the PUD is 9.41 units per acre.

RECOMMENDATION

Recommend approval of the Columbia Road Redwood PUD Stage 1 to the Warren County Rural Zoning Commission, subject to the following conditions:

1. All plans and proposals of the applicant shall be made conditions of approval, unless modified by one of the following conditions.
2. Compliance with the Warren County Rural Zoning Code, Warren County Subdivision Regulations, and the adopted PUD Standards.
3. A Traffic Impact Study (TIS) is required for the entire PUD, prior to PUD Stage 3 approval. The developer shall comply with the guidelines of the TIS outlined by the WCEO and shall be conducted with the assumption that the roadway (Kings Island Drive) has not been connected. Any road improvements deemed necessary by the WCEO shall be installed by the developer.
4. An access permit for each sub-area shall be approved prior to PUD Stage 3.
5. At the time of zoning permit application approval of the 17th building, a second access road shall be constructed. The second access will be designed for emergency use only until PUD Stage 1 & 2 approval for Sub Areas B or C.

6. The road right-of-way for the Kings Island Drive extension shall be platted and dedicated for road right-of-way with the first Final Plat section.
7. Compliance with the requirements of the Union Township Fire Department for site access and circulation.
8. Prior to Preliminary Plan approval, the applicant shall receive the Warren County Engineer's Office review and approval for the site's internal private streets. Review and approval shall include, pavement and lane width, public utility easements, pavement material, and cross-section design. On-street parking is prohibited in Sub-area A.
9. Prior to PUD Stage 3 the applicant receives approval from the Warren County Engineer's Department for stormwater management design and facilities.
10. Compliance with the requirements of the Warren County Soil and Water Conservation District (SWCD).
11. Compliance with the requirements of the Warren County Water & Sewer Department (See Exhibit E). Any improvements deemed necessary by the Warren County Water & Sewer Department shall be installed by the developer.
12. All proposed common open spaces and improvements, and maintenance of such areas are ensured through an appropriate legal instrument to comply with Section: 308 Preliminary Plan Review and Approval (E), 7 and Section 325: Dedication Procedures of the Warren County Subdivision Regulations.
13. Submit an updated Concept Plan prior to the Board of County Commissioner's meeting that identifies:
 - a. Where the rear, side, and street setbacks apply for each sub-area.
 - b. A phasing plan that illustrates the first phase including the associated constructed road network.
 - c. A conceptual illustration of the required open space (Section: 2.5.7.5) for Sub-area A.
 - d. Concepts for a compatible transition between the single-family residential uses along Columbia Road.
14. The revised PUD Standards in Exhibit D are adopted as the PUD Development Standards.
15. Submit updated PUD Development Standards that clearly state the non-residential uses permitted in each Sub-areas B & C.

STAFF COMMENTS

COMPREHENSIVE PLAN GUIDELINES

According to the Union Township Comprehensive Plan and the Warren County Future Land Use Map, this site's Future Land Use designation is office and multi-family.

The Union Township Comprehensive Plan states that the Multi-Family Residential Future Land Use makes up less than one percent of the Township, shown between Interstate 71 and Columbia Road. Apartments, condominiums, or duplexes of quality construction are preferred in this area. It is important to have a variety of housing types other than single-family residential.

There has been a shift to working from home during the pandemic making office space less appealing. The Future Land Use of Office may not be suitable for the site as the applicant has proposed assisted living, institutional care facility, and multi-family dwelling unit apartment buildings within this area. Additional uses such as commercial uses may be approved through a revised PUD Stage 1 process for Sub Areas B & C.

OPEN SPACE

Common open space is required to comprise no less than 20% of Planned Unit Development Overlays. The submitted application does not outline open space requirements nor was the open space calculated for sub-area A. Open space should be designed to be accessible to the residents and each sub-area should be connected with pedestrian pathways and sidewalks.

PARKING

Off street, parking is proposed for the Redwood Sub-area A to be utilized by the attached two-car garage and the driveway to accommodate a total of 4 parking spaces per unit. There is also visitor parking planned throughout the development. The roadways are proposed to be privately owned. Parking for Sub-area B and C shall be in conformance with the intended use and comply with the Warren County Zoning Code standards.

ACCESS/CIRCULATION

The proposed PUD Concept Plan for sub-area A illustrates 2 access points. The primary access will be directly across from River Cove roadway and the second from Kings Island Drive. As sub-area A develops a second entrance will be required due to the number of units proposed. As the PUD develops, improvements to Columbia Road and the extension of Kings Island Drive will become the main thoroughfare to alleviate traffic on Columbia Road. Sub-area A is planned to have private streets owned and maintained by a separate appropriate legal instrument.

THOROUGHFARE PLAN

The Warren County Thoroughfare Plan illustrates a Primary Collector Distributor roadway through this PUD, and connecting to Columbia Road to an extended King Island Drive. The proposed alignment is not exactly as illustrated in the Thoroughfare Plan, but meets the intent of the plan. Completion of Kings Island Drive extension would require the construction of approximately 950 feet of roadway on the Camp Cedar site; purchase of an adjacent parcel; and construction of approximately 1,500 feet of roadway on the PUD site. The PUD site will be developed under multiple developers and during PUD Stage 1 it should be determined who is responsible for the completion of the roadway and the timing of completion.

UTILITIES & STORMWATER MANAGEMENT

The proposed PUD falls within Warren County's service jurisdiction for both water and sewer utilities. Water service is available to the property from a 10-inch ductile iron waterline that extends along Columbia Road from the southern property line to a point 1,100 feet north of Randell Drive. Service is also available at the north side of the property from the 10-inch ductile iron waterline along Columbia Road that extends from River Cove Drive to a fire hydrant 560 feet north of the roadway. The developer shall provide a redundant looked water service by connecting to the waterlines at both locations.

The existing sanitary sewer collection system lacks sufficient capacity to serve the proposed development. The developer shall be required to update the engineering study and construct all required collection system improvements to the satisfaction of the water and sewer department. Connection and/or upgrades to the water and sewer utilities will need to be performed to the satisfaction of the Warren County Water & Sewer Department.

Plans for sub-area A illustrate four retention ponds to mitigate the stormwater run-off from the development. A shared maintenance agreement shall be established for the retention pond on both sub-areas A & B. Stormwater management facilities will need to be approved by the Warren County Engineer's Office.

ZONING

The existing zoning on the properties is Mixed-Use Center (MXU-C) Interstate Highway Overlay. The purpose of the Mixed-Use Center district is to provide areas appropriate for the development of mixed-use structures that vertically integrate residential dwelling units. This sub-district allows freestanding residential uses to the rear of non-residential development. Sub Area A illustrates residential only and Sub Areas B & C non-residential uses will be determined with a revised PUD Stage 1 process. The zoning inspector should determine whether the proposed use is a mixed-use development or a conventional development.

SURROUNDING USES

North	Single-Family Residential
South	Campground/ Single-Family Residential
East	Single-Family Residential
West	Interstate 71/ Vacant



ZONING COMPARISON

	Current Zoning Standard	Proposed PUD Standard
Parking Dimensions	10'x18'	9'x18'
Minimum Dwelling Size - Multi-Family	960 square feet	600 square feet
Maximum Number of Units Per Building	12 units	36 units
Density - Mixed-Use Development	8 units per acre - integrated development.	9.41 units per acre - total site.
Density - Conventional Development	1 unit per acre.	9.41 units per acre - total site.
Commercial Development	Required prior to residential development	After residential development

EXHIBIT B: PUD CONCEPT PLAN SUB AREA A PROPOSAL

CONCEPT PLAN



EXHIBIT C: APPLICANT SUBMITTED PUD STANDARDS

UNION TOWNSHIP COLUMBIA RD OVERLAY PLANNED UNIT DEVELOPMENT
DEVELOPMENT TEXT
UNION TOWNSHIP, WARREN COUNTY, OHIO

JUNE 20, 2023

Applicant:

Redwood USA LLC
Gregory Thurman, VP of Acquisitions
7007 East Pleasant Valley Road
Independence, OH 44131
513-458-9810

Outside Consultants:

POD Design
Land Planning/Landscape Architecture
Todd Foley, Principal
100 Northwoods Blvd, Suite A
Columbus OH, 43235
614-360-3055

CESO
Civil Engineering
Mark Belmont, Director of Civil Engineering
175 Montrose West Ave, Suite 400
Akron, OH 44321
330-396-5678

Goodhue Consulting, Inc.
Traffic Consultant
Paul Goodhue, P.E., PTOE
937-271-7778

1. APPLICABILITY:

- a. Unless otherwise stated, development within Union Township Columbia Road Overlay PUD shall be governed entirely by the provisions and the provisions of the Warren County Rural Zoning Code, Warren County, Ohio, which are in effect at the time of issuance of any development order. All standards and concepts imposed herein or as represented on the PUD Site Plan are a part of the regulations which will govern how the PUD may be developed. Any standards found in the Warren County Rural Zoning Code that are not modified, varied or addressed by this PUD document shall continue to apply to the PUD Site.

2. DESCRIPTION OF THE PROPERTY AND DEVELOPMENT

- a. **Location.** This Overlay Planned Unit Development Text for the subject site is for 64± acres (Development Property). The Development Property will include three subareas (A, B & C) for development as well as proposed public roadway improvements.

The east boundary of the Development Property is Columbia Road and existing single family. The west boundary of the Development Property is Interstate 71. The south boundary is the Camp Cedar Outdoor Resort and existing single family lots. The north boundary is Columbia Road and existing single family.

- b. **Present Use.** The Development Property is predominantly vacant, with a mixture of open fields and woodlots of varying size. Existing single family residences are also present along Columbia Road.
- c. **Present Zoning.** The Development Property is zoned MXU-C, Mixed-Use Center.
- d. **Developer.** Redwood Living LLC, a real estate development and management company, was established in 1991 specializing in the development and management of single-story, attached garage luxury apartment communities. Redwood's core philosophical approach is every individual wants to live in an apartment home that is of single story apartment complex. Quite simply, Redwood is committed to providing future residents with an easily accessible, luxury apartment home accentuating peaceful, comfortable and maintenance-free living experience.

Redwood Management has been integrally involved in the development of upwards of 15,000 single-story attached garage apartment units throughout 10 states carving out a niche in the apartment market of attached garage, single-story and luxury apartment units. Redwood currently has neighborhoods in South Lebanon, the City of Lebanon, Washington Township and Centerville which have all been very successful to date.

- e. **Streets.** Developer will work with the Warren County Engineer and Union Township representatives to incorporate the design and construction a portion of the primary collector/distributor public road which is identified for this Development Property on the

Warren County Thoroughfare Plan into the proposed Development Property project. This will result in a realignment of a portion of existing Columbia Road as well as other improvements to Columbia Road as required by the Warren County Engineer. Final design, phasing and construction of the proposed improvements will be directed by the Warren County Engineer. Upon completion, the proposed public road improvements shall be the sole responsibility of Warren County. All streets within the Development Property subareas will be private streets with the Developer responsible for all design, construction and maintenance of all private streets.

The development of the primary collector/distributor public road and any required improvements to Columbia Road shall be permitted to be completed in conjunction with the development of the adjacent subareas as approved by the county engineer. The entirety of the public road shall not be required to be completed with the onset of development of the first subarea.

3. GENERAL DEVELOPMENT STANDARDS & REGULATIONS FOR ALL SUB-AREAS

- a. **Purpose and Intent.** It is the intent of the Development to provide a mixed use development with common streetscape, signage, lighting and pedestrian amenities to be compatible throughout the Development. This Development Text represents the zoning requirements for this Development unless otherwise noted. The Development Property of 64± acres is intended to be developed by multiple end users across the three subareas shown on EX-2, Subarea Plan.
- b. **Definitions.** Unless specified, the definition of all terms shall be the same as the definition set forth in the Warren County Rural Zoning Code in effect at the time of zoning permit application.
- c. **Permitted Uses.** The following uses shall be permitted as follows:

Subarea A:

- Attached single story apartment dwellings with attached two car garages
- Model homes and sales offices, in accordance with Warren County Rural Zoning Code
- Home occupation uses in association with a permitted dwelling, in accordance with Warren County Rural Zoning Code
- Mailbox gazebo
- Maintenance Building for associated apartment dwelling use
- Publicly or privately owned parks and open spaces

Subarea B:

- Multiple family dwelling unit apartment buildings (Single story and multi-story)
- Townhouses, attached
- Clubhouse/community building and accessory buildings

- Garage buildings
- Model homes and sales offices, in accordance with Warren County Rural Zoning Code
- Home occupation uses in association with a permitted dwelling, in accordance with Warren County Rural Zoning Code
- Mailbox gazebo
- Maintenance Building for associated apartment dwelling use
- Publicly or privately owned parks and open spaces

Subarea C:

- Adult Group Homes and Institutional Care Facilities (including Assisted Living, Memory Care and Independent Living)
- Multiple family dwelling unit apartment buildings (Single story and multi-story)
- Townhouses, attached
- Clubhouse/community building and accessory buildings
- Garage buildings
- Model homes and sales offices, in accordance with Warren County Rural Zoning Code
- Home occupation uses in association with a permitted dwelling, in accordance with Warren County Rural Zoning Code
- Mailbox gazebo
- Maintenance Building for associated apartment dwelling use
- Publicly or privately owned parks and open spaces

- d. **Prohibited Uses.** The following uses shall be prohibited as follows, all subareas:
 - All uses identified in Section 2.407.4 of Mixed Use Center Zone Regulations
- e. **Density.** There shall be a maximum of 512 residential dwellings with a gross maximum density of 8 dwelling units per acre across all subareas of the Development Property.
 - Attached single story apartment dwellings shall be in configurations of 2 dwellings to 8 dwellings per building.
 - Multiple family dwelling unit apartment buildings (single story and multi-story) shall be in configurations of 2 dwellings to 36 dwellings per building
- f. **Lot Standards.** All subareas may be developed in phases with each phase being a discrete tax parcel.
- g. **Setbacks.** All setbacks shown on EX-2 Subarea Plan

Columbia Road-There shall be a minimum pavement and building setback of 35 feet as measured from the edge of the right-of-way (existing and future realigned).

Primary collector/distributor public road – There shall be a minimum pavement and building setback of 35 feet as measured from the edge of the right-of-way

Rear yard setback – Subarea A and C shall have a minimum pavement and building setback of 35 feet as measured from the overall perimeter property line of the lot. At grade patios shall be permitted to encroach up to 8 feet and eaves shall be permitted to encroach up to 2 feet into the minimum rear yard setback

Side yard setback – Internal shared property lines between subareas shall have a minimum pavement and building setback of 25 feet as measured from the shared side yard property line of the subarea. At grade patios shall be permitted to encroach up to 8 feet and eaves shall be permitted to encroach up to 2 feet into the minimum side yard setback

h. Access & Parking.

Access – Primary vehicular to and from all subareas on the site shall be provided from Columbia Road and the future Primary collector/distributor public road in the general location shown on EX-3 Concept Plan. Access points are subject to change as mutually agreed to by property owner and County Engineer.

Parking - Shall be in conformance with section 3.307 Schedule of required parking by use in Warren County Rural Zoning Code unless otherwise noted within

Parking dimensions – Parking stall dimension shall be a minimum of 9 feet wide by 18 feet length for all permitted uses outlined above unless other federal standard applies (such as handicap parking spaces and loading zones), in which case the federal standard shall take precedence from those specific parking areas, even if smaller dimension than stated herein.

- i. Landscaping and Screening.** All landscaping and screening shall be installed by the developer of each subarea and shall meet the requirements of then-current Warren County Rural Zoning Code unless modified by the Phase 2 PUD plan.
- j. Lighting.** All lighting shall be installed by the developer of each subarea and shall meet the requirements of then-current Warren County Rural Zoning Code unless modified by the Phase 2 PUD plan.
- k. Signage.** All signage shall be installed by the developer of each subarea and shall meet the requirements of then-current Warren County Rural Zoning Code unless modified by the Phase 2 PUD plan.
- l. Building standards.**

Building height – All residential structures shall have a maximum height of three (3) stories, with an overall height of 35 feet as measured from the mean of the eave to the

peak of the roof for pitched roofs and to the top of the roof membrane for flat roofs. Parapet walls for flat roofs shall be permitted to extend a maximum of 5' above the maximum height. Non-residential uses shall conform with the requirements of then-current Warren County Rural Zoning Code unless modified by the Phase 2 PUD plan. Building height shall be measured from the building front adjacent to parking areas or public streets. Multi-story buildings shall be permitted to have lower level 'walkout' floor resulting in a four story height condition along the building rear where surface topography is extreme.

-Portions of Subarea A & B that are directly adjacent to Columbia Road ROW shall have a maximum height of two (2) stories, with an overall height of 27 feet as measured from the centerline elevation datum of Columbia Road. This height requirement shall be applicable for the first 25 feet of the subject site beyond the Frontyard Setback. Beyond 25 feet internally shall be permitted to increase to the three (3) story overall height of 35 feet as stipulated above. See EX-2 for specific location and details

Minimum Dwelling Square Footage

- Subarea A – All single story attached dwellings shall have a minimum of 1,200 square feet
- Subarea B & C – All multi story attached dwellings shall have a minimum of 600 square feet. This assumes a one bedroom dwelling. All non-residential uses including Adult Group Homes and Institutional Care Facilities (including Assisted Living, Memory Care and Independent Living) shall meet the requirements of then-current Warren County Rural Zoning Code unless modified by the Phase 2 PUD Plan

UNION TOWNSHIP COLUMBIA RD OVERLAY PLANNED UNIT DEVELOPMENT
DEVELOPMENT TEXT
UNION TOWNSHIP, WARREN COUNTY, OHIO

JUNE 2, 2023

Applicant:

Redwood USA LLC
Gregory Thurman, VP of Acquisitions
7007 East Pleasant Valley Road
Independence, OH 44131
513-458-9810

Outside Consultants:

POD Design
Land Planning/Landscape Architecture
Todd Foley, Principal
100 Northwoods Blvd, Suite A
Columbus OH, 43235
614-360-3055

CESO
Civil Engineering
Mark Belmont, Director of Civil Engineering
175 Montrose West Ave, Suite 400
Akron, OH 44321
330-396-5678

Goodhue Consulting, Inc.
Traffic Consultant
Paul Goodhue, P.E., PTOE
937-271-7778

1. APPLICABILITY:

- a. Unless otherwise stated, development within Union Township Columbia Road Overlay PUD shall be governed entirely by these provisions (Development Text) and the provisions of the Warren County Rural Zoning Code, Warren County, Ohio, which are in effect at the time of issuance of any development order. All standards and concepts imposed herein or as represented on the PUD Site Plan are a part of the regulations which will govern how the PUD may be developed. Any standards found in the Warren County Rural Zoning Code that are not modified, varied or addressed by this PUD document shall continue to apply to the PUD Site. These standards apply to the 63.812 acre site (Development Property).

- e. **Streets.** The developers will work with the Warren County Engineer's Office and Union Township representatives to incorporate the design, timing, and construction of the primary collector/distributor public road, illustrated on EX-3 and identified on the Warren County Thoroughfare Plan. The design, phasing, and construction of the proposed improvements shall be reviewed and receive approval by the Warren County Engineer's Office. All streets within subareas A, B, and C will be private streets.

3. GENERAL DEVELOPMENT STANDARDS & REGULATIONS FOR ALL SUB-AREAS

- a. **Purpose and Intent:** To create a mixed-use development with common streetscape, signage, lighting, and pedestrian amenities that are compatible throughout the Development. The Development Property is intended to be developed by multiple end users across the three subareas shown on EX-2, Subarea Plan. Residential uses may occur prior to the commercial uses. Subareas may be developed in phases.

- b. **Definitions.** Unless specified, the definition of all terms shall be the same as defined in the Warren County Rural Zoning Code in effect at the time of zoning permit application.

- c. **Permitted Uses.** The following uses shall be permitted as follows:

Subarea A:

- Attached single-story apartment dwellings,
- Model homes and sales offices,
- Home occupation uses,
- Accessory structures associated with a residential use,
- Publicly or privately owned parks and open spaces.

Subarea B:

- Apartment buildings,
- Townhouses,

- Clubhouse/community building and accessory buildings,
 - Model homes and sales offices,
 - Home occupation uses,
 - Accessory structures associated with a residential use,
 - Publicly or privately owned parks and open spaces,
- Other uses not identified may be permitted through a revised PUD Stage 1 process.

Subarea C:

- Adult Group Homes and Institutional Care Facilities (including Assisted Living, Memory Care, and Independent Living)
 - apartment buildings (Single story and multi-story)
 - Townhouses
 - Clubhouse/community building and accessory buildings associated with the residential use
 - Model homes and sales offices
 - Home occupation uses
 - Publicly or privately owned parks and open spaces
- Other uses not identified may be permitted through a revised PUD Stage 1 process.

- d. Prohibited Uses. The following uses shall be prohibited as follows, all subareas:**
- All uses identified in Section 2.407.4 of Mixed Use Center Zone Regulations and all other uses not identified in Section 3c are prohibited.
- e. Density.** There shall be a maximum of 512 residential dwellings with a gross maximum density of 9.41 dwelling units per acre across all subareas of the Development Property.
- Attached single-story apartment dwellings shall be in configurations of 2 dwellings to 8 dwellings per building.
 - Sub Area A density shall not exceed what is proposed at PUD Stage 1.
 - Multiple family dwelling unit apartment buildings (single-story and multi-story) shall be in configurations of 2 dwellings to 36 dwellings per building
 - Sub Areas B & C shall not exceed 10 units per acre (gross density).
- f. Setbacks.** All setbacks shown on EX-2 Subarea Plan.

Public road setback – There shall be a minimum pavement and building setback of 35 feet as measured from the right-of-way.

Rear yard setback – Sub Areas A and C shall have a minimum pavement and building setback of 25 feet. At grade, patios shall be permitted to encroach up to 8 feet and eaves shall be permitted to encroach up to 2 feet into the minimum rear yard setback.

Side yard setback –25 feet. At grade, patios shall be permitted to encroach up to 8

feet and eaves shall be permitted to encroach up to 2 feet into the minimum side yard setback

g. Access & Parking.

Access – Primary vehicular access shall be provided from Columbia Road and the future Primary collector/distributor public road in the general location shown on Exhibit C, EX-3 Concept Plan. Access points illustrated on Exhibit C, EX-3 Concept Plan are subject to be reviewed by the Warren County Engineer's Office.

Parking - Shall be in conformance with section 3.307 Schedule of required parking by use in Warren County Rural Zoning Code unless otherwise noted.

Parking dimensions – Parking stall dimensions shall be a minimum of 9 feet wide by 18 feet length for all permitted uses outlined above.

h. Landscaping and Screening. All landscaping and screening shall be installed by the developer of each subarea and shall meet the requirements of the current Warren County Rural Zoning Code.

i. Lighting. All lighting shall be installed by the developer of each subarea and shall meet the requirements of the current Warren County Rural Zoning Code.

j. Signage. All signage shall be installed by the developer of each subarea and shall meet the requirements of current Warren County Rural Zoning Code.

k. Building Standards.

Maximum Residential Building Height: 3 stories not to exceed 35 feet and measured in accordance with the Warren County Rural Zoning Code.

Minimum Dwelling Square Footage

Subarea B & C – One bedroom dwellings: 600 square feet. Multiple bedroom dwellings shall meet the requirements of the Warren County Rural Zoning Code.

l. Open Space

Each phase of the development shall provide 20% open space in compliance with Section 2.507.5 Open Space Standards for Overlay PUDs. Open Space design for Sub Areas B & C will be determined at a revised PUD Stage 1 process.

**WARREN COUNTY
WATER & SEWER DEPARTMENT**

**CHRIS G. BRAUSCH, P.E.
COUNTY SANITARY ENGINEER**

TO: Ryan Cook
FROM: Chris Brausch

DATE: June 15, 2023

Re: Redwood at Columbia Road
Planned Unit Development Stage 1
Union Township

The Warren County Water & Sewer Department has reviewed the PUD Stage 1 plan that includes a maximum of 512 residential dwelling units to be located on 63.81 acres. The development includes a mixture of attached single story and multistory apartments, Adult Group Homes and Institutional Care Facilities (including Assisted Living, memory Care, and Independent Living). The following are our comments with respect to water and sanitary sewer service to the property:

1. Warren County water service is available to the property from a 10-inch ductile iron waterline that extends along Columbia Road from the southern property line to a point 1,100 feet north of Randell Drive. Service is also available at the north side of the property from the 10-inch ductile iron waterline along Columbia Road that extends from River Cove Drive to a fire hydrant 560 feet north of the roadway. The developer shall provide a redundant looped water service by connecting to the waterlines at both locations.

Sufficient pressure and capacity are available to serve the proposed development. The static water pressure near this location ranges between 110 to 140 pounds per square inch. Fire protection flow measurements taken from nearby hydrants resulted in 1,150 gallons per minute.

Due to the high pressures at this location, the development will be required to install pressure reducing valves within the buildings. The development will also be required to install Reduced Pressure Principle Backflow Prevention Assemblies that conform to Warren County Standards.

2. The existing sanitary sewer collection system lacks sufficient capacity to serve the proposed development. Enclosed is a 2017 study conducted by the department that outlines the limitations of the infrastructure. Should the Developer proceed forward with this project they shall be required to update the engineering study and construct all required collection system improvements to the satisfaction of the Water & Sewer Department.

Please contact the Water & Sewer Department with questions or comments.



Chris G. Brausch, P.E.
County Sanitary Engineer



Tiffany Zindel
County Administrator

ec: Zindel, Russell, Wojnicz



Warren County Water & Sewer Department



DATE: December 21, 2017

RE: King's Island Drive Extension Sewer Study

Executive Summary

This document looks at the improvements that would be needed in order to provide sewer service to the King's Island Drive extension area. The study area is made up of the Terre Firma property located in Deerfield Township and the McCabe-Columbia properties located in Union Township.

Sewer service for the properties would require the use of a lift station due to the topography of the area. Connecting into the Riverwalk lift station and utilizing the existing force main and downstream gravity sewers is not a viable option for the McCabe-Columbia and Terre Firma properties due to the available capacity being at 10,000 gallons per day (gpd) or just 80 gpd/acre for the properties.

Through the upgrading of the Riverwalk lift station and replacement of the force main with a larger one along Columbia Rd the capacity for the McCabe-Columbia and Terre Firma properties can be increase. The new force main would increase the capacity for the properties to 336,700 or 216,400 gallons per day depending on the gravity sewer path, outlined in the following.

Upgrades to the Riverwalk lift station would be necessary and include but are not limited to the following,

1. Properly sized pumps capable of handling the increased capacity.
2. Relocation and/or rerouting of the force main connections.
3. Installing a new single phase generator at the lift station.
4. Repaving the lift station access drive and adding a new gate 20 feet back from existing.
5. Possibly running a true three phase or single phase electrical service to the lift station and relocating transformer.

Area Sewer Service

The main trunk sewer servicing this area is located south of the McCabe/Terre property along the Little Miami River. Due to the topography of the area, flow from the McCabe/Terre property to the main trunk sewer is not possible by gravity alone, requiring the use of a lift station. The current lift station in this area is located northeast of the Riverwalk subdivision. The lift station and force main are only sized to service the Riverwalk subdivision requiring extensive upsizing up the force main and downstream gravity sewer in order to allow for adequate capacity for the McCabe/Terre property. A summary of the needed improvements required to utilize the existing force main alignment is outline in Appendix A.

Riverwalk Lift Station with new Force Main

An upgraded Riverwalk lift station in conjunction with a new force main would provide an adequate sewerage capacity for the McCabe Terre property with minimal improvements to the existing gravity sewer mains.

Manhole Connections

The manholes available to connect flow from the McCabe/Terre property to the Riverwalk lift station are shown in **FIGURE 1**. Manhole #1 is located near the intersection of Columbia Rd and River Cove and is expected to be able to collect from the entire McCabe/Terre property. Manhole #2 is located on Columbia Rd between Singleton Dr. and Riverwalk Dr. The force main should follow Columbia Road and connect into either Manhole #3 or Manhole #4 at the intersection of Columbia Rd. and Kings Mills Rd, shown in **FIGURE 1**.

Gravity Sewer Capacity and Improvements

The gravity sewer connecting manhole #1 to the Riverwalk lift station will need to upsized to a 10 inch pipe to allow for adequate capacity for the McCabe/Terre property.

No improvements are expected for the gravity sewers downstream of the new force main. The gravity sewers downstream of manhole #3 have an available capacity of 336,700 gallons per day (gpd) or 2,694 gallons per day per acre (gpd/acre) of the McCabe/Terre property. The gravity sewers downstream of manhole #4 have an available capacity of 216,400 gpd or 1,731 gpd/acre of the McCabe/Terre property.

Riverwalk Lift Station Limitations and Improvements

As part of the improvements to the Riverwalk lift station, some improvements to the site are needed as well. The backup generator will need to be replaced with a larger single phase generator. To allow for better access and maintenance of the station, the access drive will need to be repaved and a new front gate installed another 20 feet back from the existing gate.

The existing electrical service could use an update, currently the electrical service is a three phase, 230 volt with open y-delta that provides an inconsistent voltage on the third leg. A true three phase service or single phase service to the lift station would be ideal. If a new service is run to the station, the transformer should be moved away from the discharge piping.

Appendix A

Sewer Main Improvements to Utilize Existing Force main alignment

The available flow for the McCabe/Terre property is limited the force main and gravity sewer size, as well as the capacity of the lift station pumps. Without any improvements to the lift station or sewer mains, the available flow for the McCabe/Terre property is limited to a maximum of 10,000 gpd or 80 gpd/acre. A number of combinations of improvements to the lift station, force main, and gravity sewer main were looked at to increase the available flow for the McCabe/Terre property. A summary of the improvements options are given in TABLE A1.

TABLE A1
Sewer Main Improvement Options

Available Flow	Lift Station Improvements	Sanitary Force Main Improvements	Sanitary Gravity Sewer Improvements
Current Conditions 10,000 gpd 80 gpd/acre	None	None	None
36,400 gpd 291 gpd/acre	Larger pumps	None	None
38,500 gpd 308 gpd/acre	Larger pumps	Upsize to 8"	None
92,000 gpd 735 gpd/acre	Larger pumps	Upsize to 8"	Sections 1-5 upsized to 10" Sections A & B upsized to 10"
108,000 gpd 865 gpd/acre	Larger pumps	Upsize to 8"	Sections 1-5 & 11 upsized to 10" Sections A, B, & C upsized to 10"
191,500 gpd 1,532 gpd	Larger pumps	Upsize to 10"	Sections 1-9 upsized to 12" Sections 10-18 upsized to 10" Sections A, B, C, & E upsized to 10"
204,700 gpd 1,638 gpd/acre	Larger pumps Piping upsized to 5"	Upsize to 10"	Sections 1-9 upsized to 12" Sections 10-18 upsized to 10" Sections A, B, C, & E upsized to 10"
204,700 gpd 1,638 gpd/acre	Larger pumps	Upsize to 12"	Sections 1-9 upsized to 12" Sections 10-18 upsized to 10" Sections A, B, C, & E upsized to 10"

The gravity sewers accepting flow from the McCabe/Terre property were split up into two groups, those before the lift station and force main and those after the force main. The gravity sewer sections before the lift station and labeled A through M and those after the force main are labeled 1 through 18, as shown in FIGURE A1 and FIGURE A2. The specifications for the gravity sewers are given in TABLE A2.

FIGURE A1
Gravity Sewer Sections (before Lift Station)

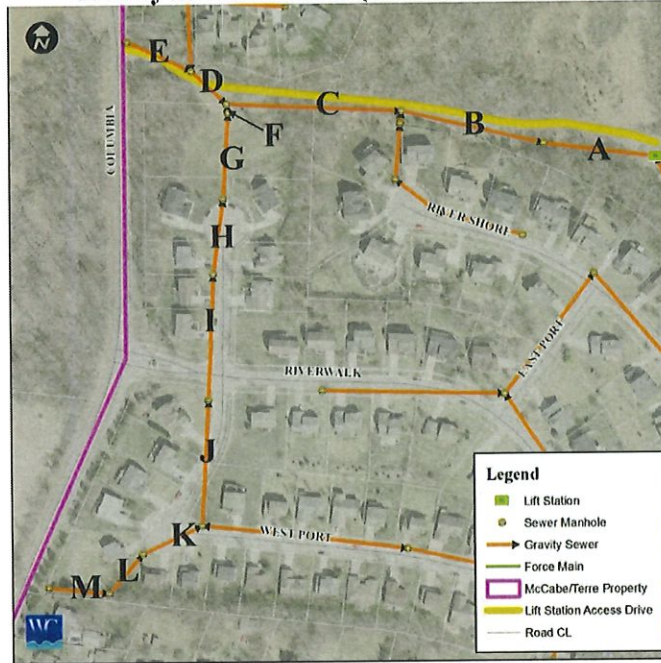


FIGURE A2
Gravity Sewer Sections (after existing Force Main)

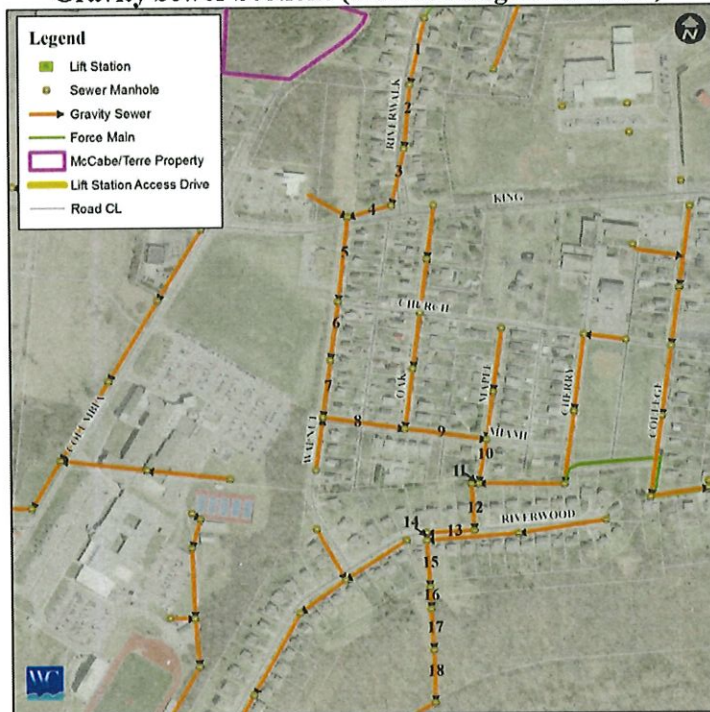
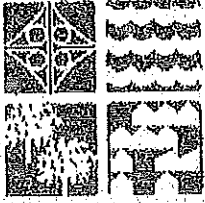


TABLE A2
Gravity Sewer Specifications

Gravity Sewer Section	Diameter	Length (ft)	Slope
A	8"	227.6	0.32 %
B	8"	294.4	0.3 %
C	8"	354.7	0.46 %
D	8"	100.1	0.41 %
E	8"	142.3	0.8 %
F	8"	18.1	0.39 %
G	8"	173.7	13.85 %
H	8"	154.1	4.17 %
I	8"	255.5	7.42 %
J	8"	254	6.06 %
K	8"	133	1.20 %
L	8"	99.6	7.03 %
M	8"	120.1	3.02 %
1	8"	289.94	0.46 %
2	8"	273.00	0.48 %
3	8"	246.95	0.43 %
4	8"	191.34	0.56 %
5	8"	365	0.98 %
6	8"	250	1.80%
7	8"	245	1.80 %
8	10"	360	0.44 %
9	10"	345	0.44 %
10	8"	196	5.33 %
11	8"	30	1.13 %
12	8"	200	6.80 %
13	8"	206	2.50 %
14	8"	31.5	2.60 %
15	8"	202.5	2.60 %
16	8"	95	17.05 %
17	8"	180	20.4 %
18	8"	115	22.12 %



Warren County Regional Planning Commission

WARREN COUNTY ADMINISTRATION BUILDING
406 JUSTICE DRIVE • LEBANON, OHIO 45036
TELEPHONE (613) 695-1223

STANLEY C. WILLIAMS, EXECUTIVE DIRECTOR

June 22, 2023

Mrs. Michelle Tegtmeier
Warren County Rural Zoning
406 Justice Drive
Lebanon, OH 45036

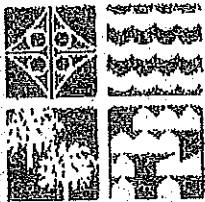
Dear Mrs. Tegtmeier:

This letter is in regard to the McCabe Columbia Road Redwood PUD Stage 1 rezoning from Mixed-Use Center Interstate Highway Overlay to Mixed-Use Center PUD Overlay Zone, in Union Township.

At its meeting on June 22, 2023, the Warren County Regional Planning Commission Executive Committee, with a vote of 14 yes, 0 abstain, and 0 no, recommended approval of the proposed rezoning subject to the following conditions:

1. All plans and proposals of the applicant shall be made conditions of approval, unless modified by one of the following conditions.
2. Compliance with the Warren County Rural Zoning Code, Warren County Subdivision Regulations, and the adopted PUD Standards.
3. A Traffic Impact Study (TIS) is required for the entire PUD, prior to PUD Stage 3 approval. The developer shall comply with the guidelines of the TIS outlined by the WCEO and shall be conducted with the assumption that the roadway (Kings Island Drive) has not been connected. Any road improvements deemed necessary by the WCEO shall be installed by the developer.
4. An access permit for each sub-area shall be approved prior to PUD Stage 3.
5. At the time of zoning permit application approval of the 17th building, a second access road shall be constructed. The second access will be designed for emergency use only until PUD Stage 1 & 2 approval for Sub Areas B or C.





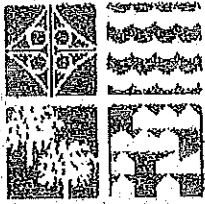
Warren County Regional Planning Commission

WARREN COUNTY ADMINISTRATION BUILDING
406 JUSTICE DRIVE • LEBANON, OHIO 45036
TELEPHONE (513) 595-1223

STANLEY C. WILLIAMS, EXECUTIVE DIRECTOR

6. The road right-of-way for the Kings Island Drive extension shall be platted and dedicated for road right-of-way with the first Final Plat section.
7. Compliance with the requirements of the Union Township Fire Department for site access and circulation.
8. Prior to Preliminary Plan approval, the applicant shall receive the Warren County Engineer's Office review and approval for the site's internal private streets. Review and approval shall include, pavement and lane width, public utility easements, pavement material, and cross-section design. On-street parking is prohibited in Sub-area A.
9. Prior to PUD Stage 3 the applicant receives approval from the Warren County Engineer's Department for stormwater management design and facilities.
10. Compliance with the requirements of the Warren County Soil and Water Conservation District (SWCD).
11. Compliance with the requirements of the Warren County Water & Sewer Department (See Exhibit E). Any improvements deemed necessary by the Warren County Water & Sewer Department shall be installed by the developer.
12. All proposed common open spaces and improvements, and maintenance of such areas are ensured through an appropriate legal instrument to comply with Section: 308 Preliminary Plan Review and Approval (E), 7 and Section 325: Dedication Procedures of the Warren County Subdivision Regulations.
13. Submit an updated Concept Plan prior to the Board of County Commissioner's meeting that identifies:
 - a. Where the rear, side, and street setbacks apply for each sub-area.
 - b. A phasing plan that illustrates the first phase including the associated constructed road network.
 - c. A conceptual illustration of the required open space (Section: 2.5.7.5) for Sub-area A.
 - d. Concepts for a compatible transition between the single-family residential uses along Columbia Road.





Warren County Regional Planning Commission

WARREN COUNTY ADMINISTRATION BUILDING
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STANLEY C. WILLIAMS, EXECUTIVE DIRECTOR

14. The revised PUD Standards in Exhibit D are adopted as the PUD Development Standards adding a maximum gross density of 9.41 units per residential acre with a maximum of 512 units.
15. Submit updated PUD Development Standards that clearly state the non-residential uses permitted in each Sub-areas B & C.
16. Any development in Sub Areas B & C shall receive PUD Stage 1 approval.

A copy of the RPC report and recommendation is attached.

Please contact this office if you have any questions regarding this recommendation.

Sincerely,

Stan Williams, AICP
Executive Director

Attachment



Tegtmeier, Michelle R.

From: Wagner, Tessa L.
Sent: Friday, June 23, 2023 12:35 PM
To: Hankins, Jackie
Subject: RE: Rezoning Case

Good afternoon Jackie,

The Warren County Soil and Water Conservation District has no additional comments for the 2023-05 Rezoning Case following yesterday's executive committee meeting as they pertain to the sediment & erosion regulations of Warren County.

If development proceeds and there are plan submittals for the different sub areas:

1. An Earth Disturbing Permit from Warren County SWCD will be required if 1 acre or more of land will be disturbed during construction.
2. An environmental assessment is required for the existing water bodies that are present on the property before disturbing these areas.

Thank you,

Tessa

Tessa Wagner

Urban Program Specialist
Warren County Soil and Water Conservation District
PHONE - (513) 695-1355 | EMAIL Tessa.Wagner@co.warren.oh.us

[Development Digest Blog](#): Construction General Permit Updates + Renewal Process
[Urban Chat 8/2/23](#): Soil Considerations for Stormwater Design

From: Hankins, Jackie <Jackie.Hankins@co.warren.oh.us>
Sent: Thursday, June 15, 2023 4:47 PM
To: Russell, Martin T. <Martin.Russell@co.warren.oh.us>; Tunison, Neil <Neil.Tunison@co.warren.oh.us>; Brausch, Chris G. <Chris.Brausch@co.warren.oh.us>; Conley, Molly M. <Molly.Conley@co.warren.oh.us>; Sims, Sheriff Larry <Larry.Sims@wcsooh.org>; McGary, Bruce <bruce.mcgary@warrencountyprosecutor.com>; Tara Thornton <tthornton@wcchd.com>; Chris Koch <chriskoch2886@gmail.com>
Cc: Tegtmeier, Michelle R. <Michelle.Tegtmeier@co.warren.oh.us>
Subject: Rezoning Case

Hello all,

Please look over our next rezoning case and have all comments back by Friday July 23, 2023.

Thank you and have a great day,
Jackie Hankins
Administrative Support/
Cashier Receptionist
Warren County Zoning
406 Justice Dr.

WARREN COUNTY
WATER & SEWER DEPARTMENT

CHRIS G. BRAUSCH, P.E.
COUNTY SANITARY ENGINEER

TO: Ryan Cook
FROM: Chris Brausch

DATE: June 15, 2023

Re: Redwood at Columbia Road
Planned Unit Development Stage 1
Union Township

The Warren County Water & Sewer Department has reviewed the PUD Stage 1 plan that includes a maximum of 512 residential dwelling units to be located on 63.81 acres. The development includes a mixture of attached single story and multistory apartments, Adult Group Homes and Institutional Care Facilities (including Assisted Living, memory Care, and Independent Living). The following are our comments with respect to water and sanitary sewer service to the property:

1. Warren County water service is available to the property from a 10-inch ductile iron waterline that extends along Columbia Road from the southern property line to a point 1,100 feet north of Randell Drive. Service is also available at the north side of the property from the 10-inch ductile iron waterline along Columbia Road that extends from River Cove Drive to a fire hydrant 560 feet north of the roadway. The developer shall provide a redundant looped water service by connecting to the waterlines at both locations.

Sufficient pressure and capacity are available to serve the proposed development. The static water pressure near this location ranges between 110 to 140 pounds per square inch. Fire protection flow measurements taken from nearby hydrants resulted in 1,150 gallons per minute.

Due to the high pressures at this location, the development will be required to install pressure reducing valves within the buildings. The development will also be required to install Reduced Pressure Principle Backflow Prevention Assemblies that conform to Warren County Standards.

2. The existing sanitary sewer collection system lacks sufficient capacity to serve the proposed development. Enclosed is a 2017 study conducted by the department that outlines the limitations of the infrastructure. Should the Developer proceed forward with this project they shall be required to update the engineering study and construct all required collection system improvements to the satisfaction of the Water & Sewer Department.

Please contact the Water & Sewer Department with questions or comments.



Chris G. Brausch, P.E.
County Sanitary Engineer



Tiffany Zindel
County Administrator

ec: Zindel, Russell, Wojnicz

P. O. BOX 530 ■ 406 JUSTICE DR. ■ LEBANON, OH 45036
513-695-1377 ■ 513-925-1377 ■ 937-425-1377 ■ FAX 513-695-2995
E-MAIL waterdept@co.warren.oh.us



Warren County Water & Sewer Department



DATE: December 21, 2017

RE: King's Island Drive Extension Sewer Study

Executive Summary

This document looks at the improvements that would be needed in order to provide sewer service to the King's Island Drive extension area. The study area is made up of the Terre Firma property located in Deerfield Township and the McCabe-Columbia properties located in Union Township.

Sewer service for the properties would require the use of a lift station due to the topography of the area. Connecting into the Riverwalk lift station and utilizing the existing force main and downstream gravity sewers is not a viable option for the McCabe-Columbia and Terre Firma properties due to the available capacity being at 10,000 gallons per day (gpd) or just 80 gpd/acre for the properties.

Through the upgrading of the Riverwalk lift station and replacement of the force main with a larger one along Columbia Rd the capacity for the McCabe-Columbia and Terre Firma properties can be increase. The new force main would increase the capacity for the properties to 336,700 or 216,400 gallons per day depending on the gravity sewer path, outlined in the following.

Upgrades to the Riverwalk lift station would be necessary and include but are not limited to the following,

1. Properly sized pumps capable of handling the increased capacity.
2. Relocation and/or rerouting of the force main connections.
3. Installing a new single phase generator at the lift station.
4. Repaving the lift station access drive and adding a new gate 20 feet back from existing.
5. Possibly running a true three phase or single phase electrical service to the lift station and relocating transformer.

King's Island Drive Extension Sewer Study

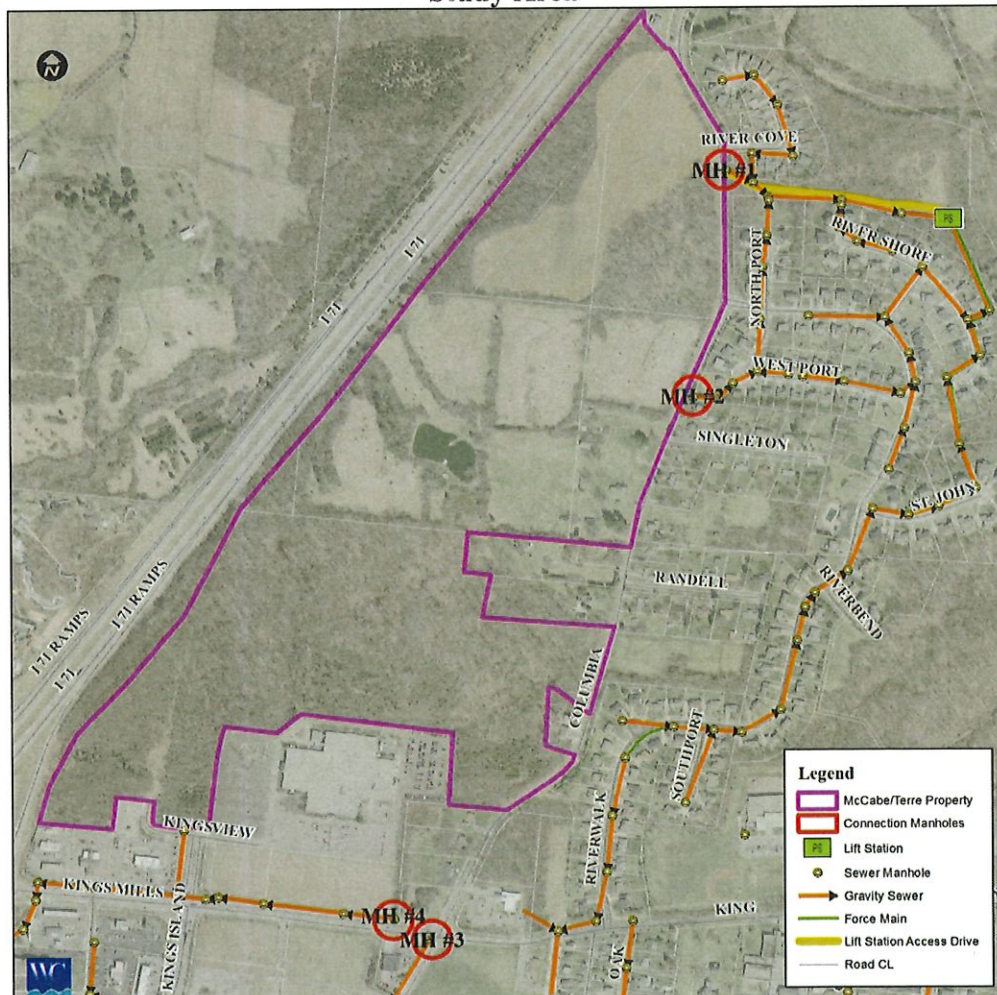
Introduction

This document looks at the improvements that would be needed in order to provide sewer service to the King's Island Drive extension area. Specifically, this document looks at available options for sewer service for the McCabe-Columbia and Terre Firma properties. The options are outlined in the following sections

Study Area

The study area is located between interstate 71 and Columbia Rd, north of Kings Mills Rd, shown in FIGURE 1. This area includes approximately 125 acres of land including the McCabe-Columbia and Terre Firma properties (referred to as the McCabe/Terre property for the purposes of this report). It should be noted that there are several vacant properties near the McCabe/Terre property that may be serviced in the future. The sewer capacities determined through this study are on a first come, first served basis and may not be available based on area development.

FIGURE 1
Study Area



Area Sewer Service

The main trunk sewer servicing this area is located south of the McCabe/Terre property along the Little Miami River. Due to the topography of the area, flow from the McCabe/Terre property to the main trunk sewer is not possible by gravity alone, requiring the use of a lift station. The current lift station in this area is located northeast of the Riverwalk subdivision. The lift station and force main are only sized to service the Riverwalk subdivision requiring extensive upsizing up the force main and downstream gravity sewer in order to allow for adequate capacity for the McCabe/Terre property. A summary of the needed improvements required to utilize the existing force main alignment is outline in Appendix A.

Riverwalk Lift Station with new Force Main

An upgraded Riverwalk lift station in conjunction with a new force main would provide an adequate sewerage capacity for the McCabe Terre property with minimal improvements to the existing gravity sewer mains.

Manhole Connections

The manholes available to connect flow from the McCabe/Terre property to the Riverwalk lift station are shown in **FIGURE 1**. Manhole #1 is located near the intersection of Columbia Rd and River Cove and is expected to be able to collect from the entire McCabe/Terre property. Manhole #2 is located on Columbia Rd between Singleton Dr. and Riverwalk Dr. The force main should follow Columbia Road and connect into either Manhole #3 or Manhole #4 at the intersection of Columbia Rd. and Kings Mills Rd, shown in **FIGURE 1**.

Gravity Sewer Capacity and Improvements

The gravity sewer connecting manhole #1 to the Riverwalk lift station will need to upsized to a 10 inch pipe to allow for adequate capacity for the McCabe/Terre property.

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Appendix A

Sewer Main Improvements to Utilize Existing Force main alignment

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The gravity sewers accepting flow from the McCabe/Terre property were split up into two groups, those before the lift station and force main and those after the force main. The gravity sewer sections before the lift station and labeled A through M and those after the force main are labeled 1 through 18, as shown in **FIGURE A1** and **FIGURE A2**. The specifications for the gravity sewers are given in **TABLE A2**.

FIGURE A1
Gravity Sewer Sections (before Lift Station)

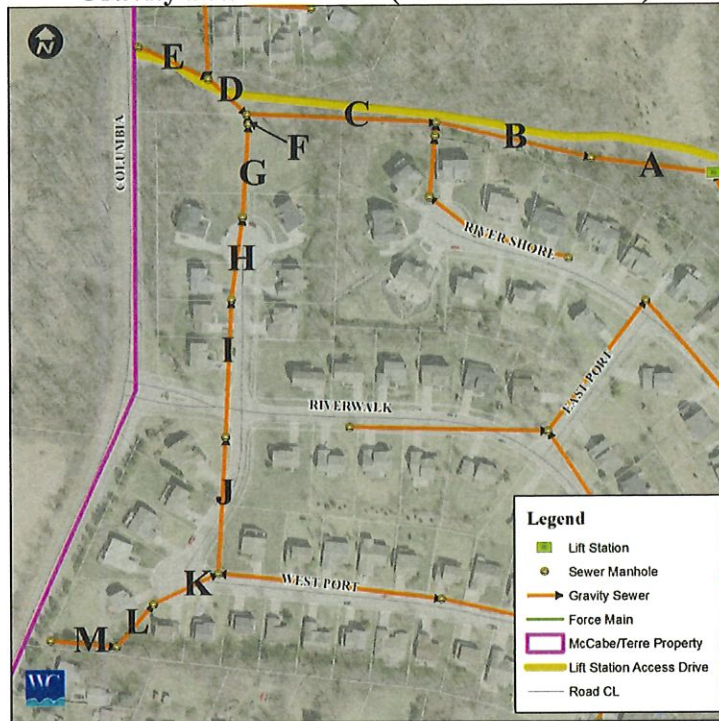
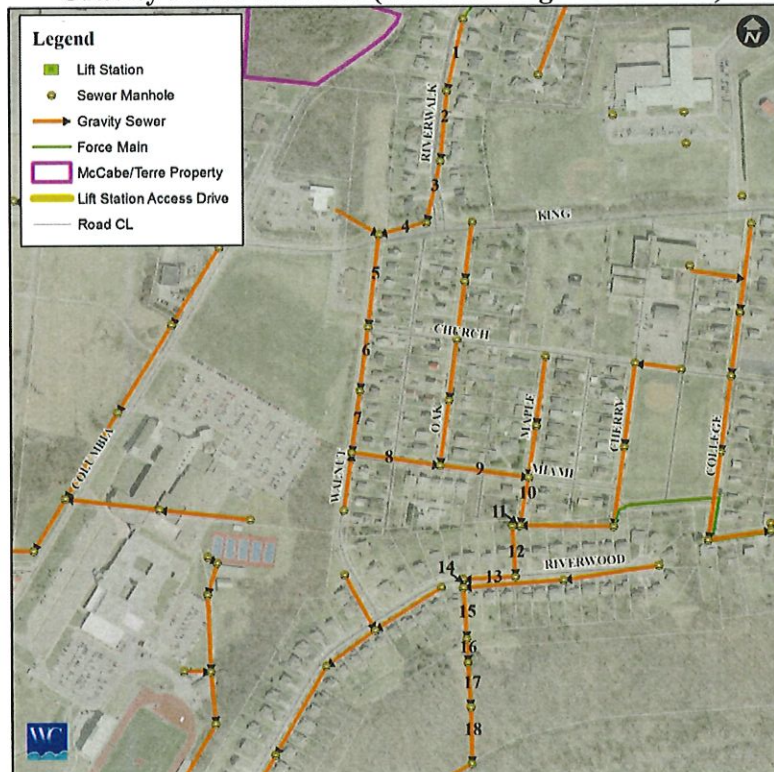


FIGURE A2
Gravity Sewer Sections (after existing Force Main)



**TABLE A2
Gravity Sewer Specifications**

Gravity Sewer Section	Diameter	Length (ft)	Slope
A	8"	227.6	0.32 %
B	8"	294.4	0.3 %
C	8"	354.7	0.46 %
D	8"	100.1	0.41 %
E	8"	142.3	0.8 %
F	8"	18.1	0.39 %
G	8"	173.7	13.85 %
H	8"	154.1	4.17 %
I	8"	255.5	7.42 %
J	8"	254	6.06 %
K	8"	133	1.20 %
L	8"	99.6	7.03 %
M	8"	120.1	3.02 %
1	8"	289.94	0.46 %
2	8"	273.00	0.48 %
3	8"	246.95	0.43 %
4	8"	191.34	0.56 %
5	8"	365	0.98 %
6	8"	250	1.80%
7	8"	245	1.80 %
8	10"	360	0.44 %
9	10"	345	0.44 %
10	8"	196	5.33 %
11	8"	30	1.13 %
12	8"	200	6.80 %
13	8"	206	2.50 %
14	8"	31.5	2.60 %
15	8"	202.5	2.60 %
16	8"	95	17.05 %
17	8"	180	20.4 %
18	8"	115	22.12 %

From: [Paul Goodhue](#)
To: [Todd Foley](#); [Greg Thurman](#)
Subject: Redwood - Union Township, Warren County
Date: Thursday, June 1, 2023 4:12:05 PM

Greg/Todd,

I just spoke with Kurt Weber, the Chief Deputy Engineer at the Warren County Engineer's Office about the project. He told me that the County had no opposition to the plan and would be supportive of it at RPC.

Some notes for the future:

1. He indicated that a traffic opinion letter may be helpful when the development moves forward after approvals from both the Planning Commission (Kurt is the Chair if you are unaware) and the Rural Zoning Commission before it is put in front of the Commissioners. He thinks a traffic opinion letter (while not required) would be good to demonstrate that we have a high-level understanding of traffic elements (before any type of traffic study will be commissioned). A traffic study will likely be required following the conclusion of the zoning process.
2. Spacing of access points is a concern and will likely require a variance to meet the County access spacing requirements. The County believes a roundabout at the intersection of the extended Kings Island Drive and Columbia would help slow vehicles along the main road and the access spacing variance argument.
3. The County believes that the designs of the roadways are likely to need refinement as we move to full design (with better topo, better understanding of vertical, etc). Conceptually, they are OK with the locations of the public roadways and how access is laid out but they do anticipate some "tweaks" will be needed. Something to be aware of.
4. The County is aware that all the public roadways may not be built initially or at once and that a plan will need to be worked out regarding timing, triggers, and how everything will be funded. Again, they understand that this will be a future discussion that will need to be had once past the zoning process.

Please let me know if you need anything else from me in support of this zoning application.

Thank you,

Paul C. Goodhue, P.E., PTOE
PRESIDENT

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